

COUNTY OF HAWAI'I PLANNING DEPARTMENT
BACKGROUND REPORT

TIELI WANG
SPECIAL MANAGEMENT AREA USE PERMIT APPLICATION
(PL-SMA-2024-000058)

TIELI WANG has submitted an application for a Special Management Area Use Permit to construct three (3), three-story, single-family dwellings and related improvements; one single-family dwelling will be constructed on each parcel. The three (3) parcels total 24,250 square feet and are located within the Special Management Area (SMA). The subject properties are located at the end of Machida Lane, approximately 300-feet east of Onekahakaha Road, Keaukaha, South Hilo, Hawai'i, TMKs: (3) 2-1-014:044, 045 and 046.

PROPOSED DEVELOPMENT

1. **Request:** The Applicant seeks a SMA Use Permit to construct a new three-story single-family residence on each of the subject parcels:

Parcel 44: Proposed three-story single-family dwelling will include five (5) bedrooms, and twelve (12) bathrooms with a total living area of 6,008 square feet (sf), a 352-sf balcony, and 3,004 sf of parking. The Applicant states that the space in this dwelling will be reserved for the owner's family use and may also include short- and long-term rental units.

Parcel 45: Proposed three-story single-family dwelling and related improvements that includes five (5) bedrooms, and eight (8) bathrooms with a total living area of 4,560 sf, a 240-sf balcony and a 2,280-sf parking area. The Applicant states this dwelling will be used to create short- or long-term rental units.

Parcel 46: Proposed three-story single-family dwelling and related improvements that includes five (5) bedrooms, and eight (8) bathrooms with a total living area of 4,560 sf, a 240-sf balcony and a 2,280-sf parking area. The Applicant states this dwelling will be used to create short- or long-term rental units.

Additionally, the Applicant is proposing to construct an Individual Wastewater System (IWS); one for each of the three dwelling structures, and county water is

available to the site for potable water use.

2. **Project Objectives:** The purpose of the project is to construct three (3) separate single-family dwellings and related improvements to be used for short term rentals, long term rentals or private (family) uses.
3. **Cost/Time of Project:** The current total estimated cost of the improvements for all the subject parcels is \$3,090,000. The project would be initiated after completion of the final design and the granting of all necessary permits.
4. **Supportive Information:** The applicant has submitted the attached in support of the request: **(Planning Department Exhibit 1 – SMA Use Permit Application dated May 3, 2024)**
5. **Landowner:** Tieli Wang, Honolulu, HI

BACKGROUND INFORMATION

6. **Special Management Area (SMA):** On December 13, 2021, SMA Minor Permit No. PL-SMM-2021-000011 was issued to allow for the clearing of underbrush and other vegetation on each of the three (3) subject parcels – no other development or permits have been issued.
7. **Therefore⁴³, HRS:** Pursuant to Hawai'i Revised Statutes (HRS) Ch. 343-5, the proposed activities do not trigger the need for an Environmental Assessment (EA), therefore, no EA is required.

STATE AND COUNTY PLANS

8. **State Land Use Designation:** Urban
9. **General Plan LUPAG MAP:** Resort (res)
10. **County Zoning:** Resort-hotel 7,500 sf (V-.75)
11. **Hilo Community Development Plan (HCDP):** The Hilo CDP was adopted by Resolution No. 1 on May 21, 1975.
12. **Special Management Area (SMA):** The project is located within the Special Management Area and therefore, the proposed development is subject to SMA review.

DESCRIPTION OF PROPERTY AND SURROUNDING AREA

13. **Subject Property:** The three (3) subject parcels are located at the end of Machida Lane, and total approximately 24,250 square feet in size. They are generally flat and overgrown

with primarily non-native trees and grasses as was determined via previous SMA approval for land clearing. Parcel 44, located on the makai side of Machida Lane borders the Onekahakaha Beach Parcel, with parcels 46 and 45 bounding the undeveloped Laehala Street and other residential developments of the subdivision. Parcel 44, the closest to the ocean, is more than 200-feet from the shoreline.

14. **Surrounding Land Zoning/Uses:** The subject parcels are part of Subdivision 05-000165, created in 2005 and are entirely within the resort (V-.75) zoning district. This property and the surrounding properties of the subdivision are developed with single-family residences and related development, with the Onekahakaha Beach Park (within the open zoning district) bordering the subdivision to the north. The park is fully developed and heavily utilized by the public. Similarly resort zoned parcels to the east are undeveloped and overgrown.
15. **Flood Insurance Rate Map (FIRM):** The subject property is within Flood Zone AE which is defined as the area that will be inundated by a flood event having a 1-percent chance of being equaled or exceeded in any given year. Based on a review of the SLR-Xa sea level rise viewer, the proposed project will not be within the 3.2-foot sea level rise exposure area, nor the 3.2-foot passive flooding zone.
16. **Flora/Fauna Resources:** No biotic surveys were conducted for the subject parcel; however, the applicant does not believe that the site contains any rare or endangered floral and faunal resources. The parcel has been undeveloped and no rare or threatened species have been noted. Site vegetation consists of common, non-native plants, shrubs, and grasses. The site is not known to be a habitat for any rare or endangered wildlife other than could be found near the shoreline. The residential/developed nature of the surrounding area would make it less likely to find other protected and endangered species within the project area, however, the nearby park may provide more suitable habitats for shoreline flora and fauna.
17. **Archaeological Resources:** The applicant did not conduct any archaeological survey of the parcel, however, due to previous development the existence of any surface or subsurface archaeological remains is extremely unlikely. To the Applicant's knowledge, there are no traditional or customary practices occurring on or near the Project Site.

Given that there is not expected to be any significant impact to archaeological, cultural or historic resources in the area, no mitigation measures are recommended. Additionally, during a previous SMA approval for land clearing, it was determined that it is unlikely that any historic sites would be found in the project area.

18. **Cultural/Historic Resources:** All proposed improvements will be located a considerable distance from the shoreline. Therefore, no impacts to traditional shoreline uses or the shoreline park are anticipated by this action. It is not known whether the subject site or immediately surrounding area was ever used for traditional and customary rights by native Hawaiians. As the project area has been previously cleared for development and other land use activities and much of the surrounding area has been used extensively for residential use for many years, it would appear very unlikely that the site would serve such a purpose today and/or in the recent past.
19. **Recreational Resources:** The subject parcel is located approximately 200 feet from the shoreline, and abuts the accessible Onekahakaha Beach park which permits fishing, gathering, and swimming. There is no public access through the subdivision and the proposed project will not impact or affect access to the beach park.
20. **Scenic and Open Space Resources:** There are existing homes along the makai side of Machida Lane so the presence of another single-family residence will not impact views in the area. Open space resources include the park, and this project will not impact on those uses.
21. **Public Access:** The requested action will not impact public access to the ocean or recreational resources that are enjoyed in the park.

PUBLIC UTILITIES AND SERVICES

22. **Access:** Access to the property is from Machida Lane, which is accessed from Onekahakaha Rd. The existing roadway is a slightly improved private road.
23. **Water:** The applicant states water is available to the site via existing systems; staff notes the Department of Water Supply did not respond to comments on the proposed project.
24. **Wastewater:** The single-family dwelling will utilize a Department of Health approved Individual Wastewater System (IWS).

25. **Other Essential Utilities and Services:** All other utilities, including electrical, telephone, and cable services are available to the site. The Applicant is responsible for hauling all domestically generated trash to any available County Transfer Station.

AGENCIES' COMMENTS

26. **Hawaii Police Department (HPD): (Planning Department Exhibit 2 – June 17, 2024, Memo).**
27. **Hawai'i Department of Health (DOH): (Planning Department Exhibit 3 – June 17, 2024, Memo).**
28. **Department of Environmental Management (DEM): (Planning Department Exhibit 4 – July 5, 2024, Memo).**
29. **Department of Public Works – Engineering: (Planning Department Exhibit 5 – July 11, 2024, Memo).**

AGENCIES - NO COMMENT

30. N/A

AGENCIES - NO RESPONSE

31. **Fire; Department of Land and Natural Resources (DLNR); Dept. of Parks and Recreation; Office of Planning.**

PUBLIC COMMENTS

32. **The Department has not received any comments or objections from the general public or adjacent landowners on the subject application.**

SPECIAL MANAGEMENT AREA USE PERMIT APPLICATION

COUNTY OF HAWAII
PLANNING DEPARTMENT

(Type or legibly print the requested information)

APPLICANT: TIELI WANG

X APPLICANT'S SIGNATURE:  DATE: 5-3-2024

ADDRESS: 1252 KAMAILE ST, HONOLULU HI 96814 2903

guijun515@gmail.com

tianlong6696@gmail.com

LIST APPLICANT'S INTEREST IF NOT OWNER: _____

LIST PRINCIPAL(S) INCLUDING NAMES OF MAIN OFFICERS: _____

PHONE:(Bus.) 808-430-3577 (Res.) _____ (Fax) _____

LANDOWNER(S): same as applicant

LANDOWNER SIGNATURE(S): _____ DATE: _____

(May be by letter)

LANDOWNER(S) ADDRESS: _____

REQUEST: Single Family Residence, three levels
one on each of 3 adjacent lots

TAX MAP KEY: (3)-2-1-014-044, 045, 046 ZONING: V-.75

SIZE OF PROPERTY OR AFFECTED AREA(S): 24, 250 (all 3 lots together)

AGENT: Val Colter

ADDRESS: RR2 Box 4742 Pahoa HI 96778

TELEPHONE:(Bus.) 808-769-2949 (Res.) _____ (Fax) _____

Please indicate to whom original correspondence and copies should be sent.

ORIGINAL: Tieli Wang COPIES: Val Colter

Planning Dept.
Exhibit 1

WRITTEN NARRATIVE

April 11, 2024

Revised May 29, 2024 (changes in **red**)

Special Management Area Assessment

28, 32 & 35 Machida Lane

Onekahakaha Subdivision

Tax Map Key No.: (3) 2-1-014:044, 045, 046

Purpose of this Document

This report has been prepared in support of Major Special Management Area (“SMA”) Assessment for the construction of a Single Family Residence and related development on each of the three subject parcels within the SMA (“Project”).

Landowner

Owners: Tieli Wang & Tianlong Wang

Mail: 1252 Kamaile St, Honolulu Hi 96814 2903

Phone: 808-430-3577

Email: guijun515@gmail.com

Agent

Val Colter

Phone: 808-769-2949

Email: val.colter@yahoo.com

BACKGROUND INFORMATION

A. An EIS will be submitted if required by the director.

B. DESCRIPTION OF PROPOSED DEVELOPMENT

Statement of objectives and reasons for the request

The objectives of this amendment to the Project are as follows:

- 1) To ensure that the Project is completed in a manner that is consistent with the applicable State and County plans, including the Special Management Area guidelines as described in Chapter 205A, Hawai`i Revised Statutes (“HRS”);
- 2) To build a Single Family Residence, **any of which can be used for short term rentals, long term rentals or family use**, including a septic system, driveway and parking on each of the three subject parcels.

Project Description

The Project includes the following components:

Owner will generally be renting these spaces short term or long term.

Parcel 44:

Proposed Single Family Residence consisting of three levels. **Space in this house will likely be reserved for the owner's family's use. This house will also be used for both short and long term rentals.**

First level to consist of parking only, second and third levels to consist of Living areas and balconies. Residence to contain five (5) bedrooms and twelve (12) bathrooms. Total Parking area of three thousand and four (3004) square feet. Total Living area of six thousand and eight (6008) square feet. Balcony area of three hundred fifty two (352) square feet. Total area of nine thousand three hundred sixty four (9364) square feet.

Parcel 45:

Proposed Single Family Residence consisting of three levels. **This house will be used for short or long term rentals.**

First level to consist of parking only, second and third levels to consist of Living areas and balconies. Residence to contain five (5) bedrooms and eight (8) bathrooms. Total Parking area of two thousand two hundred and eighty (2280) square feet. Total Living area of four thousand five hundred and sixty (4560) square feet. Balcony area of two hundred and forty (240) square feet. Total area of seven thousand and eighty (7080) square feet.

Parcel 46:

Proposed Single Family Residence consisting of three levels. **This house will be used for short or long term rentals.**

First level to consist of parking only, second and third levels to consist of Living areas and balconies. Residence to contain five (5) bedrooms and eight (8) bathrooms. Total Parking area of two thousand two hundred and eighty (2280) square feet. Total Living area of four thousand five hundred and sixty (4560) square feet. Balcony area of two hundred and forty (240) square feet. Total area of seven thousand and eighty (7080) square feet.

Construction of the three residences is similar. All will be built on concrete slab with concrete support walls at first floor, the remainder of the construction will be standard wood framing. Roof construction will be wood framing with metal roofing. Height at roof midpoints will be approximately thirty five (35) feet, and will not exceed a maximum of forty (45) feet. These parcels are not on the shoreline. The closest of the three (TMK 2-1-014:044) is approximately two hundred and fifty (250) feet from the shoreline and separated from shoreline by Lihikai Park, aka Onekahakaha Beach Park. The other two parcels are behind this parcel and approximately three hundred and eighty (380) feet from the shoreline. The residences will respect parcel setbacks of twenty (20) foot front and rear setbacks and twelve (12) foot side setbacks as required for three stories. A septic system for each residence will be installed on its lot. (See attached site plans & building plans.)

County water is available and will be utilized.

10 loads of select borrow gravel and base course gravel are anticipated. Excavating and compacting activities are anticipated with the entire 24,250 square feet included in the three parcels to be impacted by grading, excavating, fill and compacting activities for the total project including septic systems and driveways. Up to 2000 cu yards of material may be brought in.

The Project is set back from the coastline by a minimum of 250 feet to the nearest development which will be the Residence and septic system on TMK 2-1-014:044 . This project will not affect beach processes, artificially fix the shoreline or interfere with public access and views to and along the shoreline.

Site specific Best Management Practices (“BMPs”) will be developed by the contractor in order to mitigate any potential for project-related impacts to the nearshore marine environment. BMPs will include the following provisions:

- Excavation and grading activities will all be kept a minimum of 150 feet from the shoreline.
- The entire project will take place outside the shoreline setback area.
- All heavy equipment, machinery and trucks will be stored on site.
- Drip pans will be stored under vehicles when not in use. In the event of a spill or leak of fuel, the flow of such fuel will be stopped and all sources of ignition will be removed. The spill will be contained by placement of a barrier around the area and contaminated earth will be placed in containers and properly disposed of off-site.
- In case of ponding fuel, a hazardous materials vacuum truck will be used to collect the fuel.
- A construction, silt and debris barrier meeting with the approval of the Planning Director, shall be erected prior to the commencement of construction activities and shall remain in place until final inspection has been granted for all improvements. This barrier will surround the construction area (shown on attached site plan).

C. DESCRIPTION OF SUBJECT PROPERTY

Property is located at

28, 32 & 35 Machida Lane

Onekahakaha Subdivision

Tax Map Key No.: (3) 2-1-014:044, 045, 046



Property Characteristics

The Property is a 24, 250 square-foot area made up from three parcels. It is generally flat, vegetation is grass and trees. (Aerial view and survey map of the lot attached.)

Topography, Geology & Soils

The Project Site is generally flat, slightly sloping rock and dirt. No material will be removed from the site. All excavated materials will be relocated on site.

Existing Improvements

There are no existing improvements.

D. VALUATION OF PROPOSED USE

(TMK 2-1-014:044) $6008 \times 167.37 = 1,005,000$
 $3004 + 352 = 3356 \times 66.48 = 223,000$
 $= 1,228,000$

(TMK 2-1-014:045)

$$\begin{aligned}
 4560 \times 167.37 &= 763,000 \\
 2280 + 240 &= 2520 \times 66.48 = 168,000 \\
 &= 931,000
 \end{aligned}$$

(TMK 2-1-014:046)

$$\begin{aligned}
 4560 \times 167.37 &= 763,000 \\
 2280 + 240 &= 2520 \times 66.48 = 168,000 \\
 &= 931,000
 \end{aligned}$$

Total of the complete development is estimated at \$3,090,000

The proposed Project would be expected to begin upon obtaining all necessary approvals, including the subject SMA Assessment Application.

.E. RELATIONSHIP TO COUNTY GENERAL PLAN

Hawai'i County General Plan

The Hawai'i County General Plan is the long-range policy document for the comprehensive development of the Island of Hawai'i. The General Plan provides direction for the balanced growth of the County. The General Plan contains goals, policies and standards as well as the LUPAG map.

The Project conforms with the following goals, policies and standards of the General Plan.

Environmental Quality:

Goals:

- (b) Maintain and, if feasible, improve the environmental quality of the island.

Policies:

- (a) Take positive action to further maintain the quality of the environment.

Discussion:

The Applicant is very sensitive to the environmental quality of the Property as well as the surrounding area, including the nearshore water quality. In relation to the Project, applicant intends to take no action which would negatively impact the ocean. The parcels are not on the shoreline.

Flooding and Other Natural Hazards:

Goals:

- (b) Prevent damage to man-made improvements.

Policies:

- (d) Any development within the Federal Emergency Management Agency designated flood plain must be in compliance with Chapter 27.
- (q) Consider natural hazards in all land use planning and permitting.

Discussion:

The Applicant is aware of the natural hazards that have the potential to affect the Property. The parcel is in flood zone VE and the first level will be structurally designed and engineered to withstand anticipated floor events.

Natural Beauty:

Goals:

- (a) Protect, preserve and enhance the quality of areas endowed with natural beauty, including the quality of coastal scenic resources.
- (c) Maximize opportunities for present and future generations to appreciate and enjoy natural and scenic beauty.

Discussion:

The subject parcel will be developed with restraint as to coastal impacts. The Applicant supports a conservative approach to the conservation of natural resources.

Natural Resources and Shoreline:

Policies:

- (a) Require users of natural resources to conduct their activities in a manner that avoids or minimizes adverse effects on the environment.
- (c) Maintain the shoreline for recreational, cultural, educational, and/or scientific uses in a manner that is protective of resources and is of the maximum benefit to the general public.

Discussion:

The Applicant supports a conservative approach to the conservation of natural resources.

Guidelines for Approval

- (1) All development in the special management area shall be subject to reasonable terms and conditions set by the authority in order to ensure:
 - (A) Adequate access, by dedication or other means, to publicly owned or used beaches, recreation areas, and natural reserves is provided to the extent consistent with sound conservation principles;
 - (B) Adequate and properly located public recreation areas and wildlife preserves are reserved;
 - (C) Provisions are made for solid and liquid waste treatment, disposition, and management which will minimize adverse effects upon special management area resources; and
 - (D) Alterations to existing land forms and vegetation, except crops, and construction of structures shall cause minimum adverse effect to water resources and scenic and recreational amenities and minimum danger of floods, wind damage, storm surge, landslides, erosion, siltation, or failure in the event of an earthquake.

Discussion:

(A) There has historically been no shoreline access through this parcel. That will continue. The adjacent property is Onekahakaha Beach Park which offers abundant shoreline access.

(B) Septic systems will be designed by a licensed civil engineer to protect the ocean from wastewater associated with this development.

(2) No development shall be approved unless the authority has first found:

- (A) That the development will not have any substantial adverse environmental or ecological effect, except as such adverse effect is minimized to the extent practicable and clearly outweighed by the public health, safety, or other compelling public interests. Such adverse effects shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect, and the elimination of planning options;
- (B) That the development is consistent with the objectives, policies, and special management area guidelines enacted by the legislature; and
- (C) That the development is consistent with the county general plan and zoning. Such a finding of consistency does not preclude concurrent processing where a general plan or zoning may also be required.

Discussion:

The Project is not expected to have any significant adverse impact to environmental resources. It is consistent with the objectives, policies and SMA guidelines, as well as the General Plan and County zoning.

The surrounding area has both low and high density residential development. Allowing development of large single family dwellings in this area will not have a high impact either individually or cumulatively. This is a mixed density area with resort zoning.

GENERAL PLAN

This project is in South Hilo District.

(1) General Plan states: Population growth in Hilo and in the older plantation based communities on the coast north of the city declined or saw little growth. Between 1990 and 2000, the population for Hilo increased by 6.2 per cent.

(2) General Plan states as a goal under Environmental Quality:

Define the most desirable use of land within the County that achieves an ecological balance providing residents and visitors the quality of life and an environment in which the natural resources of the island are viable and sustainable.

General Plan states : There were 1,165 visitor accommodation units available in 1998, a decline of 11.3 per cent since 1984 and a 46 per cent decline since its peak in 1976. Hilo continues to attract its share of visitors to the County with approximately 380,000 visitors (30 per cent) in 1997.

Discussion: This development proposal is within Resort zoning and the owners may be using the properties for either short term or long term rentals, an appropriate usage within this zoning. This neighborhood has small lots several of which have already been developed.

(3) General Plan states : The coastline of the island is susceptible to high seas and tsunami inundation. Tsunamis may be of local or distant origination..

Discussion: This parcel is in Flood zone AE as reported by Public Works Engineering Division and flood engineering and construction will be used.

(5) As relates to Natural Resources General Plan states:

- (a) Require users of natural resources to conduct their activities in a manner that avoids or minimizes adverse effects on the environment.
- (b) Protect the shoreline from the encroachment of man-made improvements and structures.
- (c) An identification and inventory of forest lands suitable for watershed purposes should be conducted jointly by County, appropriate State and Federal agencies, and private landowners.
- (d) Encourage the use of native plants for screening and landscaping.

Discussion: The septic system for wastewater and the construction debris barrier and best practices will be used to minimize negative impacts on the environment.

F. **RELATIONSHIP TO SMA OBJECTIVES, POLICIES & GUIDELINES**
as provided by Chapter 205A, HRS, and SMA Guidelines

SMA Objectives & Policies

Recreational Resources

Objective:

Provide coastal recreational opportunities accessible to the public.

Policies:

- (A) Improve coordination and funding of coastal recreational planning and management; and
- (B) Provide adequate, accessible and diverse recreational opportunities in the coastal zone management area by:
 - (i) protecting coastal resources uniquely suited for recreational opportunities that cannot be provided in other areas;
 - (ii) requiring replacement of coastal resources having significant recreational value, including, but not limited to, surfing sites, fishponds and sand beaches, when such resources would be unavoidably damaged by development; or requiring reasonable monetary compensation to the State for recreation when replacement is not feasible or desirable;
 - (iii) providing and managing adequate public access, consistent with conservation of natural resources, to and along shorelines with recreational value;
 - (iv) providing an adequate supply of shoreline parks and other recreational facilities suitable for public recreation;
 - (v) ensuring public recreational uses of county, state and federally owned or controlled shoreline lands and waters having recreational value consistent with public safety standards and conservation of natural resources;

- (vi) adopting water quality standards and regulating point and nonpoint sources of pollution to protect, and where feasible, restore the recreational value of coastal waters;
- (vii) developing new shoreline recreational opportunities, where appropriate, such as artificial lagoons, artificial beaches, and artificial reefs for surfing and fishing; and encouraging reasonable dedication of shoreline areas with recreational value for public use as part of discretionary approvals or permits by the land use commission, board of land natural resources, and county authorities; and crediting such dedication against the requirements of section 46-6.

Discussion:

The Property is adjacent to a Beach park which offers recreational facilities and opportunities. The proposed development should not affect the coastal waters or the use of the park.

Historic Resources

Objective:

Protect, preserve, and, where desirable, restore those natural and manmade historic and prehistoric resources in the coastal zone management area that are significant in Hawaiian and American history and culture.

Policies:

- (A) Identify and analyze significant archaeological resources;
- (B) Maximize information retention through preservation of remains and artifacts or salvage operations; and
- (C) Support state goals for protection, restoration, interpretation, and display of historic resources.

Discussion:

It is highly unlikely that there are any archaeological resources on the Property. It has been previously disturbed during park and road development.

Scenic & Open Space Resources

Objective:

Protect, preserve, and, where desirable, restore or improve the quality of coastal scenic and open space resources.

Policies:

- (A) Identify valued scenic resources in the coastal zone management area;
- (B) Ensure that new development are compatible with their visual environment by designing and locating such developments to minimize the alteration of natural landforms and existing public views to and along the shoreline;
- (C) Preserve, maintain, and, where desirable, improve and restore shoreline open space and scenic resources; and
- (D) Encourage those developments that are not coastal dependent to locate in inland areas.

Discussion:

The proposed Project will not interfere with any views of the coastline from a public highway, and will have a minimal impact on views from neighboring properties.

Coastal Ecosystems

Objective:

Protect valuable coastal ecosystems, including reefs, from disruption and minimize adverse impacts on all coastal ecosystems.

Policies:

- (A) Exercise an overall conservation ethic, and practice stewardship in the protection, use, and development of marine and coastal resources;
- (B) Improve the technical basis for natural resource management;
- (C) Preserve valuable coastal ecosystems, including reefs, of significant biological or economic importance;
- (D) Minimize disruption or degradation of coastal water ecosystems by effective regulation of stream diversion, channelization, and similar land and water uses, recognizing competing water needs; and
- (E) Promote water quantity and quality planning and management practices that reflect the tolerance of fresh water and marine ecosystems and maintain and enhance water quality through the development and implementation of point and nonpoint source water pollution control measures.

Discussion:

The Applicant will be using approved septic systems to serve the Residence and Ohana. All surface runoff will be contained onsite. Site specific Best Management Practices will be utilized as discussed in detail above. The project area falls entirely outside the 40 foot shoreline setback. As such, the Project is not expected to negatively impact coastal ecosystems.

Economic Uses

Objective:

Provide public or private facilities and improvements important to the State's economy in suitable locations.

Policies:

- (A) Concentrate coastal dependent development in appropriate areas;
- (B) Ensure that coastal development such as harbors and ports, and coastal related development such as visitor industry facilities and energy generating facilities, are located, designed, and constructed to minimize adverse social, visual, and environmental impacts in the coastal zone management area; and
- (C) Direct the location and expansion of coastal dependent developments to areas presently designated and used for such developments and permit reasonable long-term growth at such areas, and permit coastal dependent development outside of presently designated areas when:
 - (i) use of presently designated locations is not feasible;
 - (ii) adverse environmental effects are minimized; and
 - (iii) the development is important to the State's economy.

Discussion:

The Property is located within Resort zoning adjacent to the Onekahakaha Beach park parking lot. Hilo Beach House Inn is adjacent to the property. Continued development of long and short term rentals in this area is entirely appropriate.

Coastal Hazards

Objective:

Reduce hazard to life and property from tsunami, storm waves, stream flooding, erosion, subsidence, and pollution.

Policies:

- (A) Develop and communicate adequate information about storm wave, tsunami, flood, erosion, subsidence, and point and nonpoint source pollution hazards;
- (B) Control development in areas subject to storm wave, tsunami, flood, erosion, hurricane, wind, subsidence, and point and nonpoint source pollution hazards
- (C) Ensure that development comply with requirements of the Federal Flood Insurance Program; and
- (D) Prevent coastal flooding from inland projects.

Discussion:

The Property is subject to tsunami inundation, as are all areas along the coast. In any event residents will evacuate if so directed by sirens or county or state personnel. Actions by the applicant will be unlikely to increase erosion or pollution.

Managing Development

Objective:

Improve the development review process, communication, and public participation in the management of coastal resources and hazards.

Policies:

- (A) Use, implement and enforce existing law effectively to the maximum extent possible in managing present and future coastal zone development;
- (B) Facilitate timely processing of applications for development permits and resolve overlapping or conflicting permit requirements; and
- (C) Communicate the potential short and long-term impacts of proposed significant coastal developments early in their life cycle and in terms understandable to the public to facilitate public participation in the planning and review process.

Discussion:

The SMA Assessment process will allow the Planning Director to assess the Project in detail.

Public Participation

Policies:

- (A) Promote public involvement in coastal zone management processes;
- (B) Disseminate information on coastal management issues by means of educational materials, published reports, staff contact, and public workshops for persons and organizations concerned with coastal issues, developments, and government activities; and

- (C) Organize workshops, policy dialogues, and site-specific mediations to respond to coastal issues and conflicts.

Discussion:

The SMA Assessment process will allow the Planning Director to assess the Project in detail.

Beach Protection

Policies:

- (A) Locate new structures inland from the shoreline setback to conserve open space, minimize interference with natural shoreline processes, and minimize loss of improvements due to erosion;
- (B) Prohibit construction of private erosion-protection structures seaward of the shoreline, except when they result in improved aesthetic and engineering solutions to erosion at the sites and do not interfere with existing recreational and waterline activities; and
- (C) Minimize the construction of public erosion-protection structures seaward of the shoreline.

Discussion:

The Project will not interfere with natural beach processes or erosion.

Marine Resources

Policies:

- (A) Ensure that the use and development of marine and coastal resources are ecologically and environmentally sound and economically beneficial;
- (B) Coordinate the management of marine and coastal resources and activities to improve effectiveness and efficiency;
- (C) Assert and articulate the interests of the state as a partner with federal agencies in the sound management of ocean resources within the United States exclusive economic zone;
- (D) Promote research, study, and understanding of ocean processes, marine life, and other ocean resources in order to acquire and inventory information necessary to understand how ocean development activities relate to and impact upon ocean and coastal resources; and
- (E) Encourage research and development of new, innovative technologies for exploring, using, or protecting marine and coastal resources.

Discussion:

The Project is not expected to impact marine resources.

Guidelines for Approval

- (1) All development in the special management area shall be subject to reasonable terms and conditions set by the authority in order to ensure:
 - (A) Adequate access, by dedication or other means, to publicly owned or used beaches, recreation areas, and natural reserves is provided to the extent consistent with sound conservation principles;
 - (B) Adequate and properly located public recreation areas and wildlife preserves are reserved;

- (C) Provisions are made for solid and liquid waste treatment, disposition, and management which will minimize adverse effects upon special management area resources; and
- (D) Alterations to existing land forms and vegetation, except crops, and construction of structures shall cause minimum adverse effect to water resources and scenic and recreational amenities and minimum danger of floods, wind damage, storm surge, landslides, erosion, siltation, or failure in the event of an earthquake.

Discussion:

The Project will not affect shoreline public access, and will not have adverse effects on the shoreline.

- (2) No development shall be approved unless the authority has first found:
 - (A) That the development will not have any substantial adverse environmental or ecological effect, except as such adverse effect is minimized to the extent practicable and clearly outweighed by the public health, safety, or other compelling public interests. Such adverse effects shall include, but not be limited to, the potential cumulative impact of individual developments, each one of which taken in itself might not have a substantial adverse effect, and the elimination of planning options;
 - (B) That the development is consistent with the objectives, policies, and special management area guidelines enacted by the legislature; and
 - (C) That the development is consistent with the county general plan and zoning. Such a finding of consistency does not preclude concurrent processing where a general plan or zoning may also be required.

Discussion:

The Project is not expected to have any significant adverse impact to environmental resources. It is consistent with the objectives, policies and SMA guidelines, as well as the General Plan and County zoning.

- (3) The authority shall seek to minimize, where reasonable:
 - (A) Dredging, filling or otherwise altering any bay, estuary, salt marsh, river mouth, slough or lagoon;
 - (B) Any development which would reduce the size of any beach or other area usable for public recreation;
 - (C) Any development which would reduce or impose restrictions upon public access to tidal and submerged lands, beaches, portions of rivers and streams within the special management areas and the mean high tide line where there is no beach;
 - (D) Any development which would substantially interfere or detract from the line of sight toward the sea from the state highway nearest the coast; and
 - (E) Any development which would adversely affect water quality, existing areas of open water free of visible structures, existing and potential fisheries and fishing grounds, wildlife habitats, or potential or existing agricultural uses of land.

Discussion:

The Project will not reduce the size of any beach or other area usable for public recreation. It will not impose any restriction on public access to tidal or submerged lands or detract from the line of sight toward the sea of any highway, nor is it expected to adversely affect water quality, fisheries, fishing grounds, wildlife habitats or agricultural uses of land.

G. Zoning

The Property is within the Resort Zoning area. Surrounding zoning is also Resort. Properties surrounding the Subject Property are developed with single family dwellings, Hilo Beach House Inn and open land.

Project is situated entirely within the Special Management Area (“SMA”). The Project Site is presently zoned Resort (“V-.75”) by the County of Hawai‘i. This zoning designation is entirely appropriate within current policies for the proposed Project.

H. Flood Insurance rate Map (FIRM) Designation is AE

Section 27-24. Standards for general floodplain.

The general floodplain, identified as Zone A on the Flood Insurance Rate Maps, are areas of special flood hazards for which detailed engineering studies are not performed by the Federal Emergency Management Agency to determine the base flood elevations and to identify the floodways.

(a) To determine base flood elevations and the locations of floodways within the general floodplain, the director of public works may obtain, review, and reasonably utilize any base flood elevation and floodway data available from a Federal, State, or other source, including information requested of a permit applicant.

(b) Development or subdivision proposals shall conform with the requirements of section 27-20.

(c) The following information shall be provided by a permit applicant to the director of public works to evaluate the proposed construction or improvement site within a general floodplain area:

(1) Project location and site plan showing dimensions.

(2) Relationship to floodway and floodway fringes as determined by flood elevation study.

(3) Contour map showing the topography of existing ground based on elevation reference marks on flood maps. The scale and contours are to be appropriate to the work in question.

(4) Existing and proposed base flood elevations.

(5) Existing and proposed floodproofing and flood control measures.

The director of public works may waive informational requirements if the director of public works has sufficient information to make an evaluation and determination regarding flood elevation or may request further information, including a detailed flood elevation study and a drainage report, to evaluate flood risks and determine the applicability of flood construction and development standards.

(d) New construction, improvements to repetitive loss structures, and substantial improvements within the general floodplain shall satisfy the requirements set forth for Zones AE, AH, AO, or VE as is determined to be applicable by the director of public works based on base flood information and floodway data obtained through subsections 27-24(a) and 27-24(b).

(e) All new construction, improvements to repetitive loss structures, development, and substantial improvement within the general floodplain shall be certified as required by section 27-17.

I. Archaeological Resources

Due to previous development the existence of any surface or subsurface archaeological remains is extremely unlikely.

To the Applicant's knowledge, there are no traditional or customary practices occurring on or near the Project Site.

Given that there is not expected to be any significant impact to archaeological, cultural or historic resources in the area, no mitigation measures are recommended.

The following letter was sent to State DLNR asking for a finding of "no effect".

J. Flora

Property is currently covered by grass, with some trees and shrubs.

Fauna

Occasional or consistent use by seabirds, small rodents and lizards is likely, but impacts on area fauna will be minimal.

K. Cultural Resources

No traditional or customary native Hawaiian rights are exercised in the area except fishing. There has historically been no shoreline access through this parcel. That will continue. The adjacent beach park offers shoreline access.

L. Public Access to the Shoreline

There has historically been no shoreline access through this parcel. That will continue.

M. Access to the area

The Property is accessed by Kalanianaʻole and Onekahakaha Roads, paved public roads in reasonable condition.

N. Traffic Impacts

There is not expected to be any significant impact to the existing traffic situation on area roads as the proposed Residences will not add much to the density of the area.

As such, no mitigation measures are currently proposed.

O. Availability of Utilities

Water System

No water system anticipated. County water is available and will be utilized.

Wastewater System

The Residence will have an engineered septic system appropriate to its coastal proximity.

Utilities

Helco electrical grid is available for hook-up and will be utilized. Electricity will be brought on to the property with either overhead lines on privately owned poles or underground.

Emergency Services

The Project Site is currently served by all emergency services.

- 1) FIRE / EMERGENCY It is located within the service area of the four 24-hour full time substations within the city of Hilo. Closest is Central Fire Station, a full-time fire/EMS operation.
- 2) HOSPITAL Hilo Community Hospital, 1190 Waianuenue Ave, Hilo, HI 96720
- 3) POLICE Headquarters for Hilo and the County is located in the Hilo Public Safety Building on Kapiolani Street.

Solid Waste

The Applicant is responsible for hauling all domestically generated trash to any available County Transfer Station. The Applicant acknowledges that construction waste is not to be disposed of at any County Transfer Station.

P. Information as to any areas of critical concern will be addressed as required by the director.

ANTICIPATED IMPACTS OF THE PROPOSED DEVELOPMENT ON THE SMA

A. DESCRIPTION OF ENVIRONMENTAL SETTING

The property is on a dead end road adjacent to Onekahakaha Beach Park. The general area is impacted by the traffic in and out of the adjacent beach park. But Machida Lane is not a beach access.

B. RELATIONSHIP TO LAND USE PLANS, POLICIES, AND CONTROL OF AFFECTED AREA

Land Use Plans & Policies

The area is generally used for residential and recreational purposes and the proposed development is consistent with those uses.

Natural Hazards

Tsunami

Existing Conditions

The Project Site is not in a Fema recognized floor zone. The occurrence of a tsunami is unpredictable. Once generated, a tsunami's height can be monitored as it approaches land masses. The tsunami height at landfall will vary depending on the shoreline terrain and the nearshore water's depth.

Potential Impacts

As a result of the unpredictability of a tsunami, the actual impacts cannot be estimated beyond the fact that large tsunami waves can cause considerable damage. The ability of a structure to survive the destructive force of a tsunami is dependent upon a number of factors, including the following: the size of the wave, the number of waves, the type of

structure impacted, the structure's distance from the water's edge, the topography of the impacted area, and the amount of debris suspended in the waves impacting the structure.

Proposed Mitigation

The Applicant is well aware of the potential tsunami hazard. Evacuation routes for the area have been developed by the Hawai'i County Civil Defense Agency ("Civil Defense") and the Applicant is aware of them. A tsunami warning siren system is presently in place as a means of informing area residents and businesses of an impending threat. The warning system is linked to the Statewide Civil Defense System and is activated directly by Civil Defense.

Volcanic & Earthquake Hazards

Existing Conditions

The United States Geologic Survey ("USGS") classifies the area as Lava Flow Hazard Zone 3, on a scale of ascending risk, 9 being the lowest risk and 1 being the highest.

Zone 3-Areas less hazardous than zone 2 because of greater distance from recently active vents and (or) because of topography. One to five percent of zone 3 has been covered since 1800, and 15 to 75 percent has been covered within the past 750 years.

Potential Impacts

The potential impacts of lava flow inundation include structures and improvements covered by lava or destroyed by fire, disruption of built infrastructure, alteration of the terrain and loss of life. This property is not in a high risk area. In Hawai'i, the loss of life due directly to lava flow inundation is extremely rare due to the fact that there is usually adequate warning of an impending threat to allow the evacuation of the area.

The entire Island of Hawai'i is within Earthquake Zone 3.

The Uniform Building Code designates the entire Island of Hawai'i in Zone 3 and contains certain structural requirements to address the relative seismic hazards. However, during a major earthquake of 7+ on the Richter scale, significant property damage may occur.

Proposed Mitigation

As in the case of tsunamis, due to the uncertainty of volcanic events, the most practical mitigative measure is the provision of an early warning system that will warn area residents and businesses of an impending threat.

Regarding a seismic event, adherence to the structural requirements of the Uniform Building Code is the best possible mitigation to prevent property damage or loss of life. The Proposed Carport will be built to withstand seismic events per 2006 IBC.

C. PROBABLE IMPACT ON THE ENVIRONMENT

The residences will be visible from the adjacent park but are upslope and will not affect ocean views from the park. There are a few upslope properties whose view plane may be affected.

D. ANY PROBABLE ADVERSE, UNAVOIDABLE ENVIRONMENTAL EFFECTS

The Applicant has not identified any adverse, unavoidable environmental effects.

E. ALTERNATIVES TO THE PROPOSED ACTION

“No-Action” Alternative

Under this alternative, Applicant would not do the Project.

Location of the Project Elsewhere on the Property

As the entire Property is situated within the SMA there is no way to situate the Project outside of the SMA.

Evaluation of Alternatives

The present alternative is the only reasonable option for the Applicants to accomplish their objective.

F. MITIGATING MEASURES TO MINIMIZE IMPACT

Large shoreline setbacks, new septic systems and best management practices during construction will protect the coastline and ocean.

G. ANY IRREVERSIBLE & IRRETRIEVABLE COMMITMENT OF RESOURCES

Resources

The proposed Project does not include any irreversible and irretrievable commitment of resources. As previously noted, the Project Site is not a habitat for any federally or State listed, candidate or proposed threatened or endangered species, nor is there any likelihood of surface or subsurface archaeological resources.

Visual Characteristics

The Applicant does not anticipate any impacts to visual resources from the Project. Ocean views from roadways will not be affected by the proposed buildings.

Applicant requests that Certified Shoreline Survey be waived as the project area is over 200 feet from the shoreline at the closest point.

Please address all communication regarding this application to both:

Tieli Wang & Tianlong Wang
1252 Kamaile St.
Honolulu HI 96814 2903
guijun515@gmail.com

Valerie Colter
808-769-2949
13-6460 Kalapana Kapoho Rd.
Pahoa HI 96778
val.colter@yahoo.com

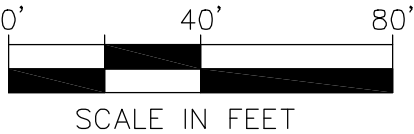
Attachments:

- Proposed Building floor plans & elevations
- Site plan
- Arial view
- Survey maps



Boundary Survey
of Lot 4, 5, & 6 Onekahakaha Subdivision
Portion of Grant 7200 & 10025
Keaukaha So. Hilo
Island and County of Hawaii, Hawaii
TMK(3) 2-1-014: 044, 045, & 046

- NOTES:**
- 1. This K-1 field survey completed November 9, 2021
 - 2. (F) indicates Field measured dimensions. Basis of Azimuths is a 'best-fit' of found (FD.) property monuments to record positions. Std. Error = 0.27 ft. (n=11)
 - 3. (R) indicates Record dimensions per Ld. Ct. Appl. 1335, Map 1, and Warranty Deeds for Lots 4,5, and six, filed as Liber 1313 pg. 217, Liber 1414 pg. 146, and Liber 1475 pg. 884, (res'p).
 - 4. This Map was prepared for the transaction indicated, and should not be used for any other purpose.



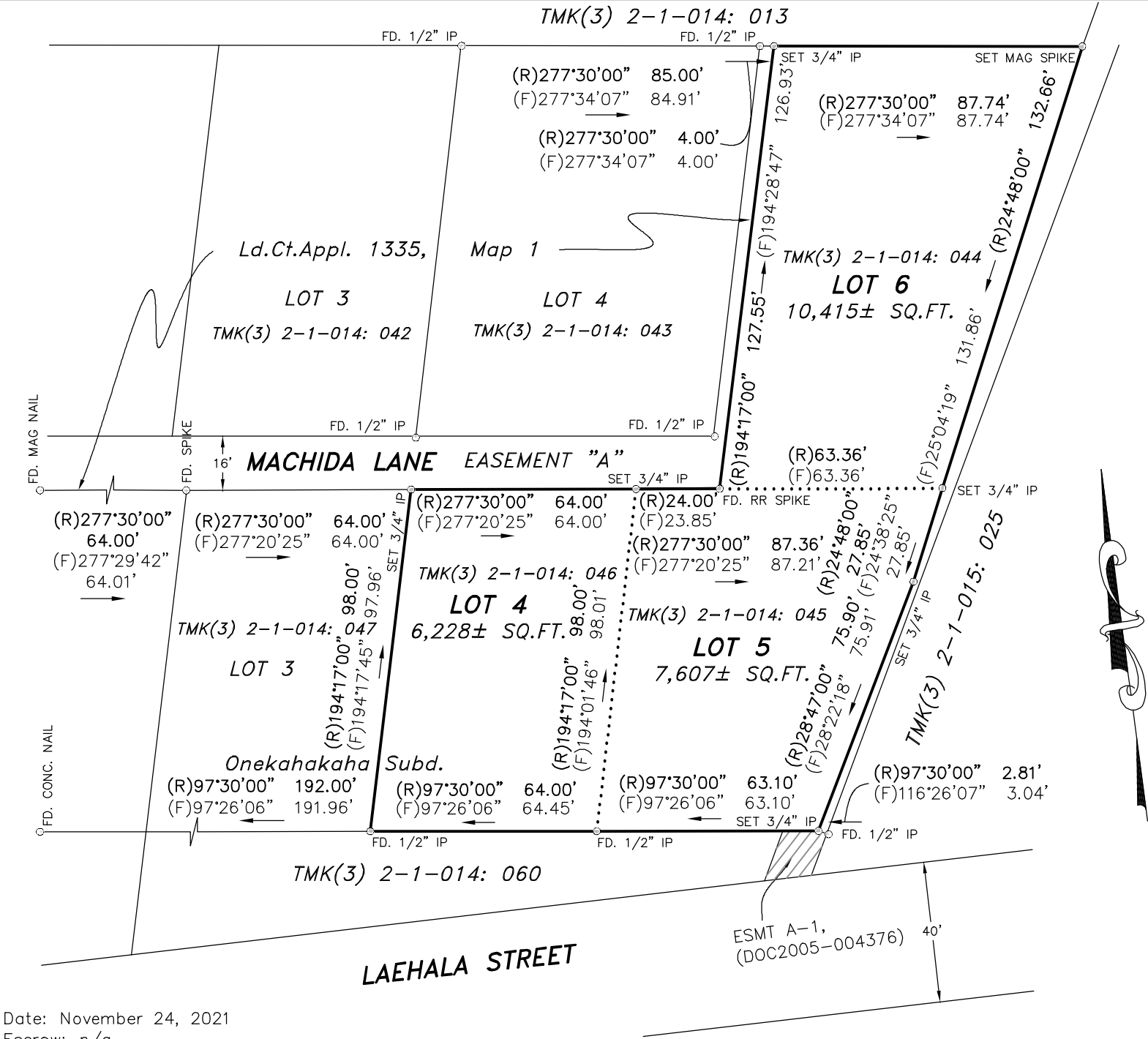
This work was prepared by me or under my direct supervision.

.....
Daniel L. Berg
PLS 11245

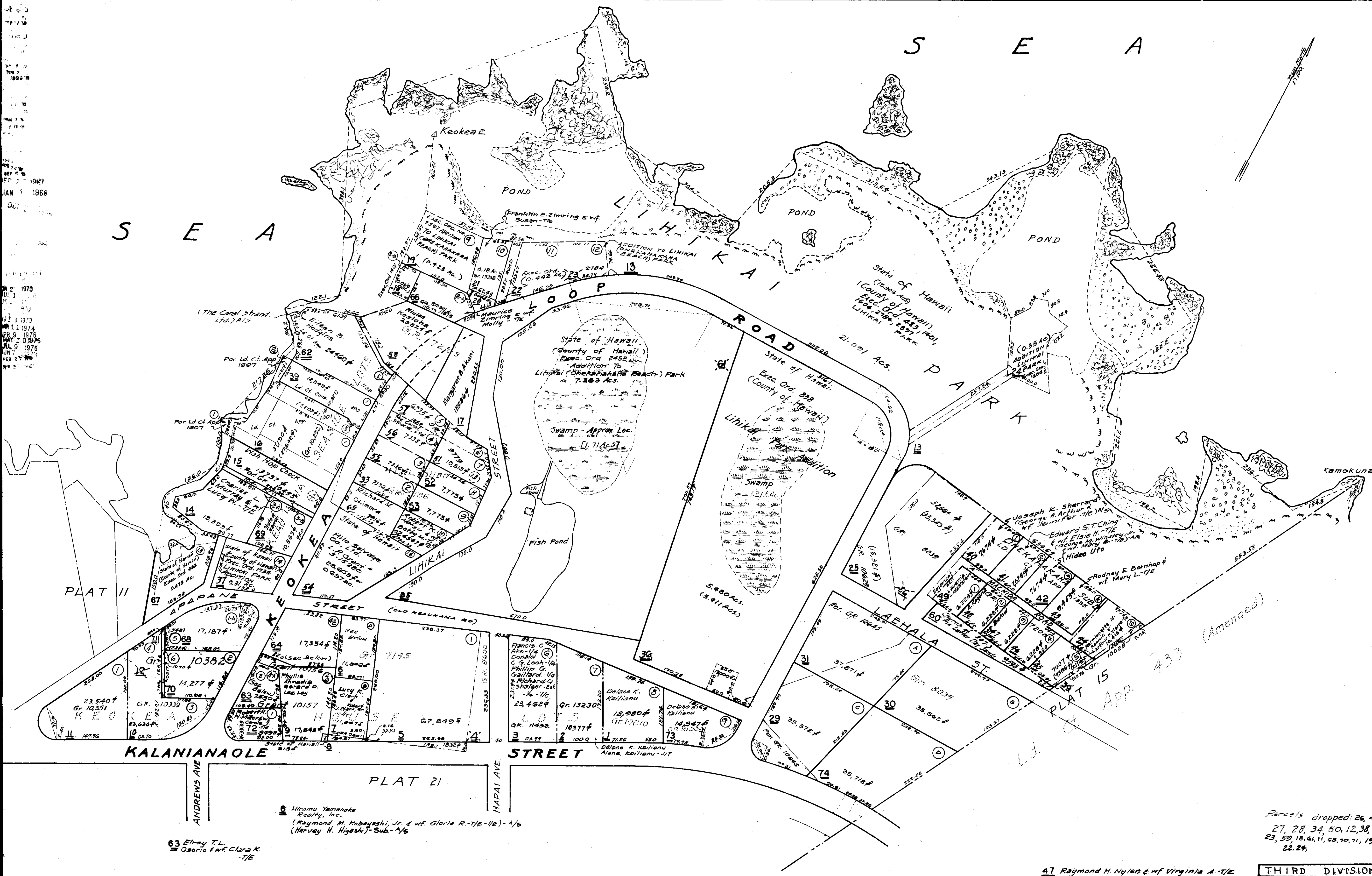


dlb & Associates
LAND SURVEYING • MAPPING • CONSULTING

P.O.Box 49-2281 Keaau, HI. 96749
Ph.966-4206 Fx.82-6830
www.dlbandassoc.com



Date: November 24, 2021
Escrow: n/a
Project: J2021-444
8X14L

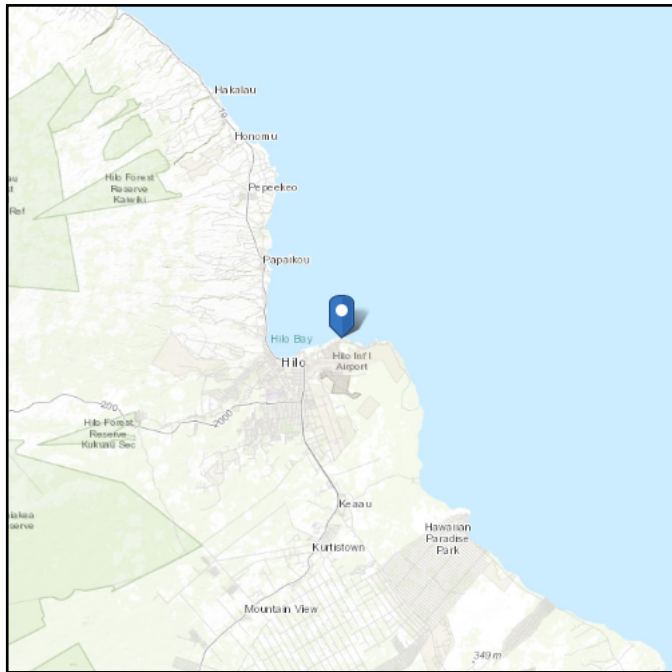
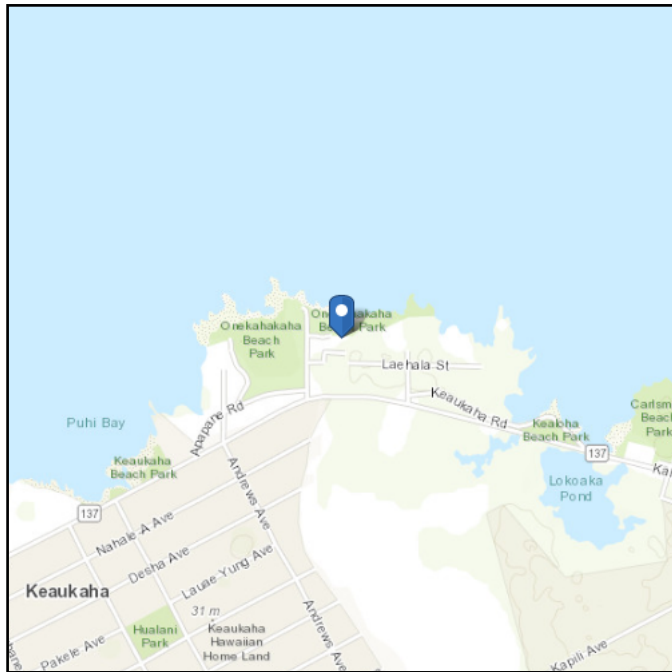


47 Raymond H. Nylet & wf Virginia A. T/E

ADVANCE SHEET
SUBJECT TO CHANGE

THIRD DIVISION		
ZONE	SEC.	PLAT
2	1	14
CONTAINING 04 PARCELS		
Scale 1 in = 100 ft.		

PRINTED



HAWAII COUNTY ENERGY CODE

2018 IECC, HAWAII REVISED STATUTES HRS 107-24 TO 28, &
HAWAII ADMINISTRATIVE RULES HAR 3-181.1

RESIDENTIAL BUILDING ENERGY EFFICIENCY STANDARDS

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY
CONFORMS TO THE RESIDENTIAL PROVISIONS OF THE 2018 IECC WITH
AMENDMENTS PER HAWAII COUNTY CODE CHAPTER 5

COMPLIANCE METHOD EXEMPT

R402.1 GENERAL: EXEMPT

**R402.1 GENERAL: EXCEPTION #1 1.2 STRUCTURES THAT DO NOT
CONTAIN CONDITIONED SPACE (SHALL BE EXEMPT FROM THE BUILDING THERMAL
ENVELOPE PROVISIONS OF SECTIONS 402.1.1 THRU 402.1.5)**

☐ Tropical Zone. R 402.1.2 (must have opening area to exterior of at least 14% of floor area in each room)	
☐ Prescriptive . R402	
Roof and Wall	
☐ Insulation R-value. Table 401.1.2	
☐ Construction U-Factor. Table 401.1.4	
☐ Total UA. 402.1.5	
☐ Points Option. R 407	
☐ Simulated Performance Alternative. R405	
☐ Energy Rating Index Compliance Alternative. R406	

INFORMATION CONSTRUCTION DOCUMENTS	Yes	N/A
Envelope		
Roof insulation R-value	☐	☒
Roof insulation type and location	☐	☒
Roof membrane solar reflectance and thermal emittance	☐	☒
Wall insulation R-value	☐	☒
Wall insulation type and location	☐	☒
Window and skylight SHGC	☒	☐
Air leakage testing requirement	☐	☒
Air Conditioning		
Air conditioning equipment capacity and efficiency	☐	☒
Programmable thermostat	☐	☒
Duct insulation R-value	☐	☒
Duct leakage testing requirement	☐	☒
Electrical		
Lighting fixture locations	☐	☒
Lamp type	☒	☐
Ceiling fans	☒	☐
Whole-house fan	☐	☒

NOTES

R403.6.2 A CEILING FAN, ROUGH-IN, OR WHOLE HOUSE FAN IS PROVIDED FOR BEDROOMS AND THE LARGEST SPACE THAT IS NOT USED AS A BEDROOM, PROVIDED THAT THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM COMPLIES WITH THE REQUIREMENTS OF TABLE R403.6.1.

90% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS (R404.1). HIGH EFFICIENCY LAMPS ARE DEFINED AS (1) 7-8 OR SMALLER DIAMETER LINEAR FLUORESCENT LAMPS, (2) COMPACT FLUORESCENT, (3) 60 LUMENS/WATT IF GREATER THAN 40 WATT, 50 LUMENS/WATT IF MORE THAN 15W AND LESS THAN OR EQUAL TO 40W, 40 LUMENS/WATT IF LESS THAN OR EQUAL TO 15W, (4) MOST BUT NOT ALL LED LAMPS QUALIFY. THIS APPLIES TO PERMANENTLY INSTALLED FIXTURES. LOW VOLTAGE LIGHTING IS EXEMPT.

A CERTIFICATE OF COMPLIANCE WITH IECC 2018 - R401.3 AS AMENDED IS TO BE POSTED IN A UTILITY ROOM (OR SIMILAR) PRIOR TO FINAL INSPECTION.

ALL WINDOWS, SLIDING GLASS DOORS, AND GLAZING IN SWING DOORS SHALL BE DOUBLE PANE GLAZING WITH LOW-E COATING, WITH A SOLAR HEAT GAIN COEFFICIENT 0.25 MAXIMUM (R402.3)

1. FLOOR LIVE LOAD = 40 psf
2. ROOF LIVE LOAD = 20 psf
3. WIND SPEED = 120 mph (per ASCE 7 HAZARD TOOL)
4. WIND EXPOSURE CATEGORY (ref. R301.2.1.4): Exposures A B **C** D
5. SEISMIC DESIGN CATEGORY (ref. Figure R301.2(2)): D1 D2 **E**

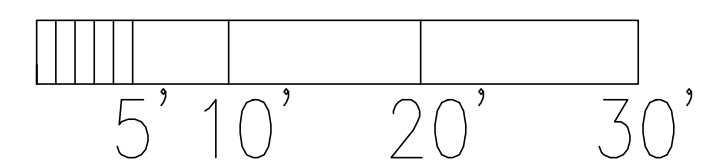
THIS PROJECT IS IN COMPLIANCE WITH HRS [196-6.5] "SOLAR WATER HEATER SYSTEM REQUIRED FOR NEW SINGLE FAMILY CONSTRUCTION."

Site plan for a proposed 10-unit residential building. The lot is 132.66' wide and 87.74' deep. The building footprint is 63.36' x 24.00'. The plan includes a driveway, a septic system, two balconies, and various setbacks. A north arrow points towards the top right. The lot is identified as TMK (3)-2-1-14-44.

Key dimensions and setbacks shown on the plan:

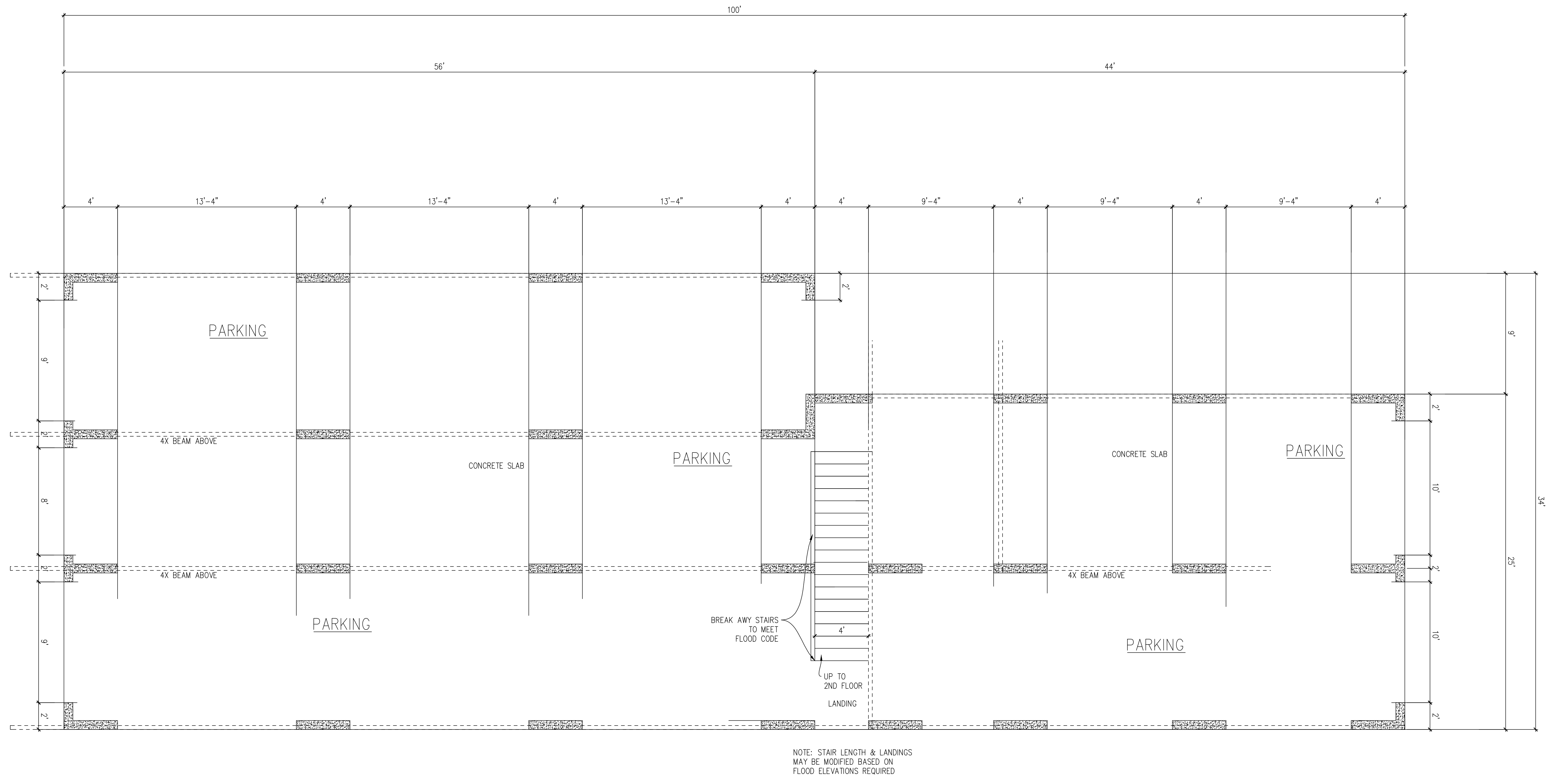
- Lot width: 132.66'
- Lot depth: 87.74'
- Building footprint: 63.36' x 24.00'
- Driveway: 24.00' wide
- Septic system: 24' x 15'
- Balcony (top): 4' x 10'
- Balcony (bottom): 34' x 12'
- Setbacks: 12' (front), 20' (side), 2' (rear)
- Other dimensions: 21'-8", 25', 44', 20'-4", 20'-6", 5'-6", 7', 56', 34', 12', 16', 63.36', 24.00', 127.55', 20', 20' SETBACK, 2' SETBACK, 3' CLEAR

SCALE: 1" = 10'



ACCESSORY AREA: x SQ FT (1st Floor 2nd Floor 3rd Floor)

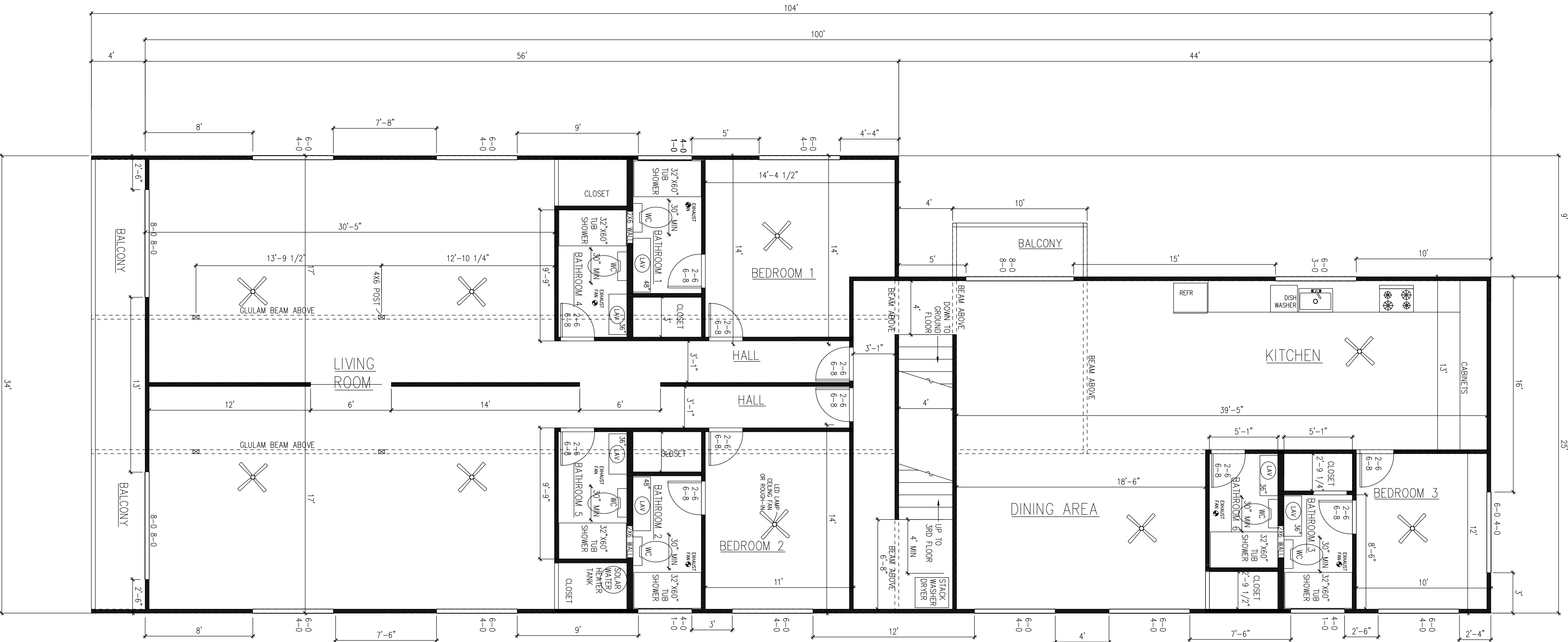
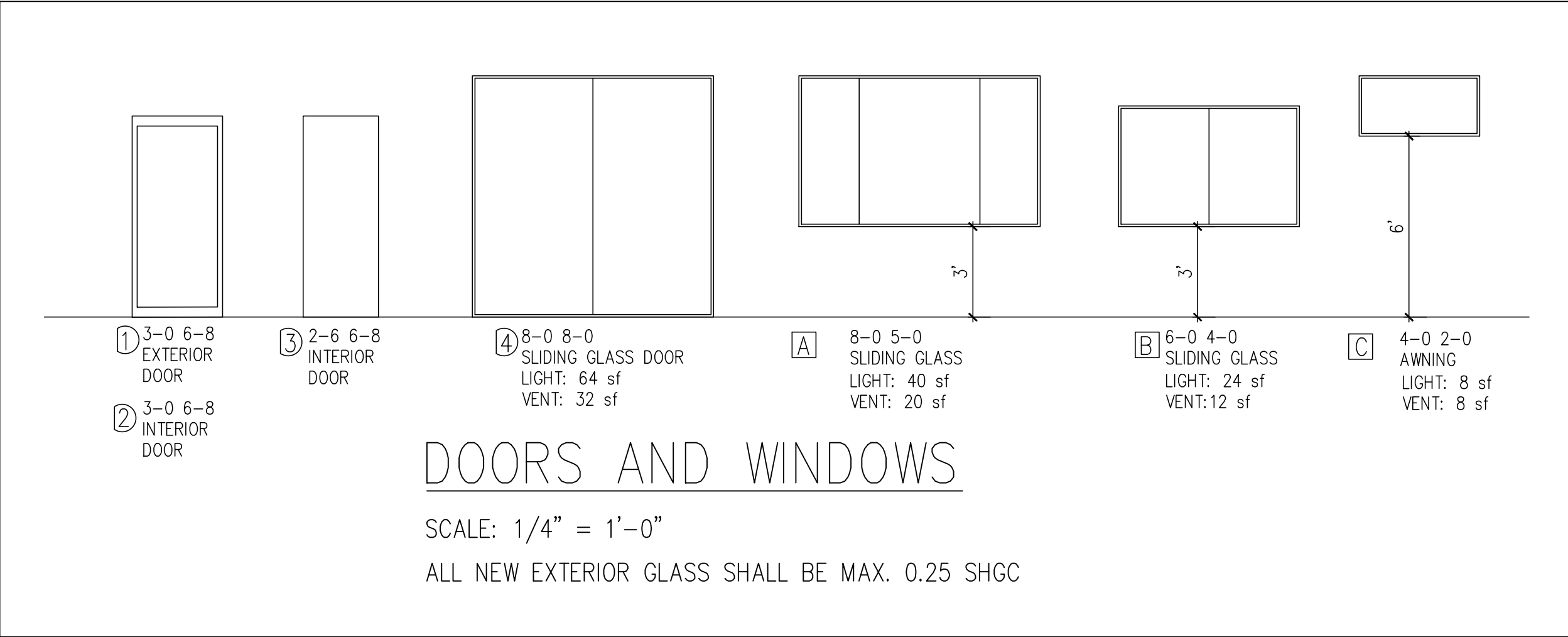
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
PLANNING	MECHANICAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
ENGINEERING	STRUCTURAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
DEM WASTEWATER	BUILDING
REVIEWER	
REVIEW DATE	
DOH WASTEWATER	
REVIEWER	
REVIEW DATE	
ELECTRICAL	
REVIEWER	
REVIEW DATE	
PLUMBING	



44

1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

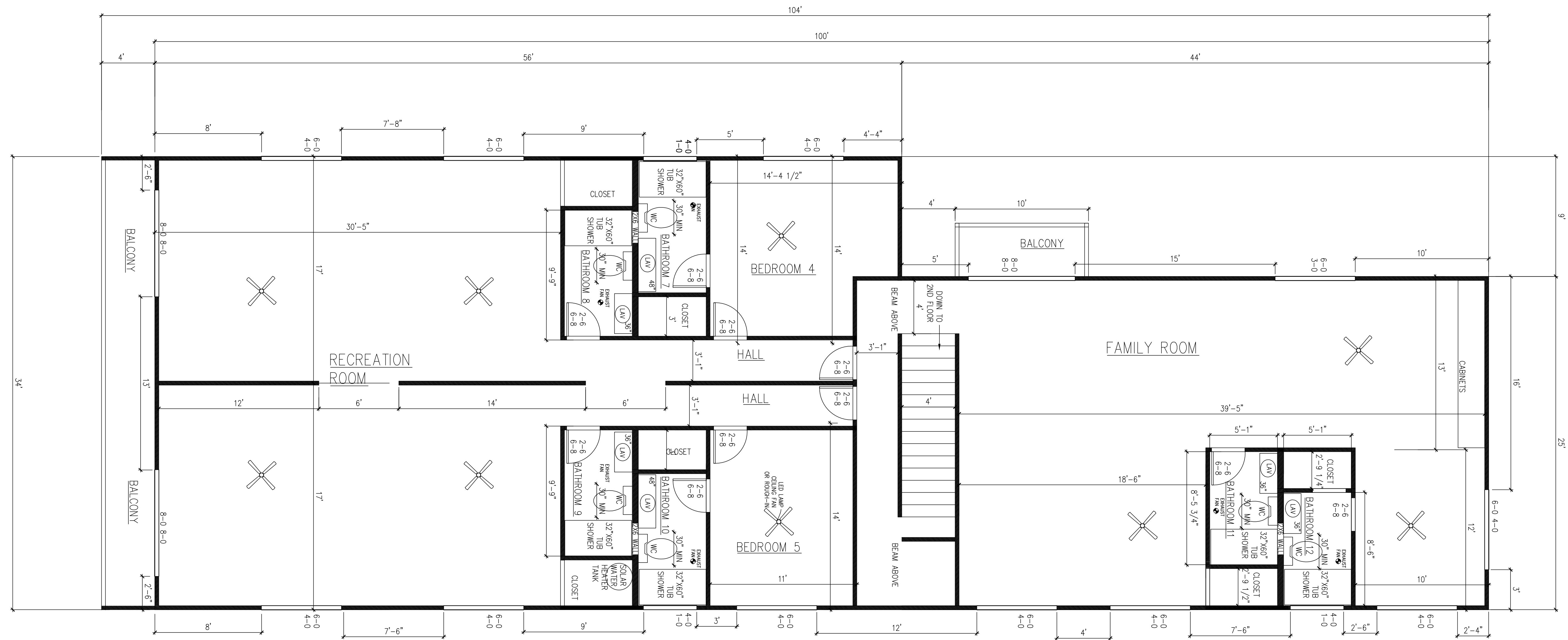
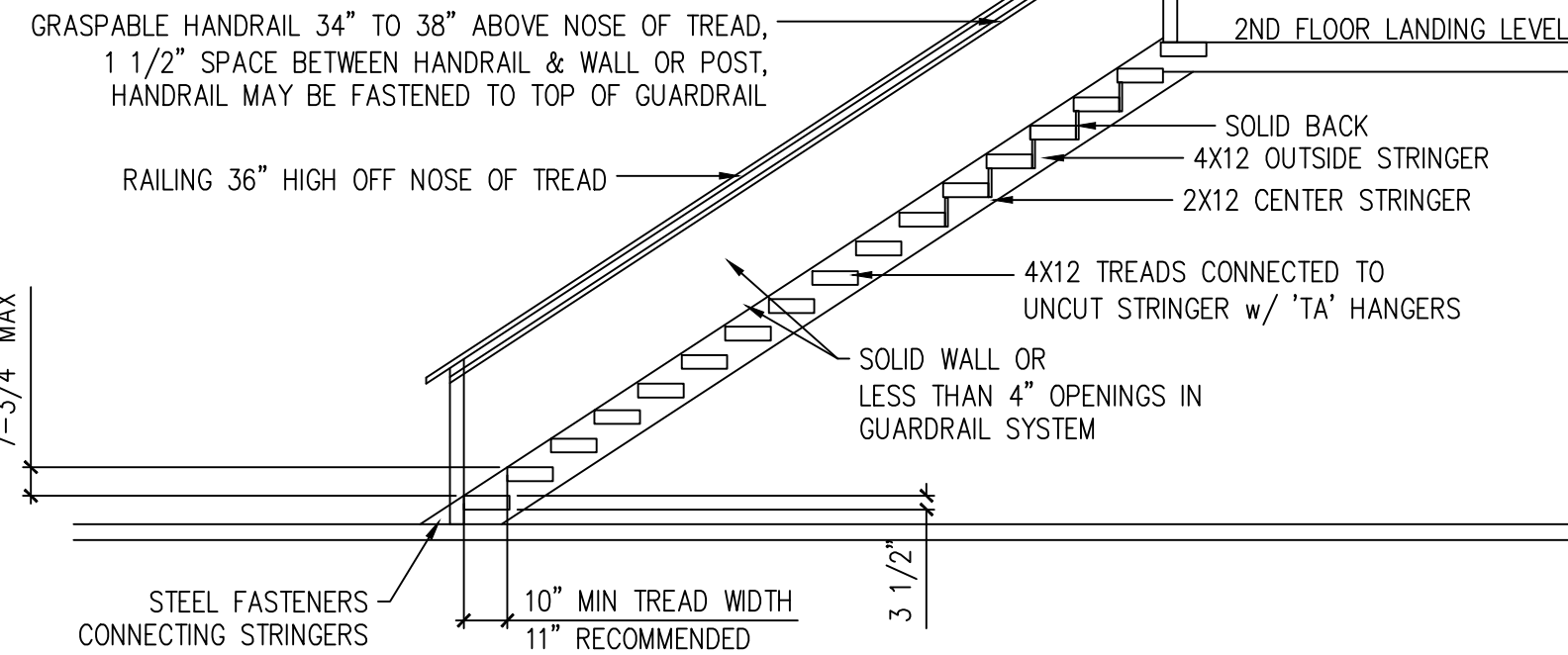
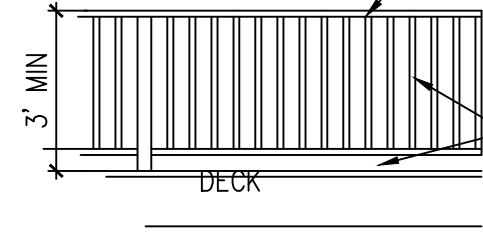


44

2nd FLOOR PLAN

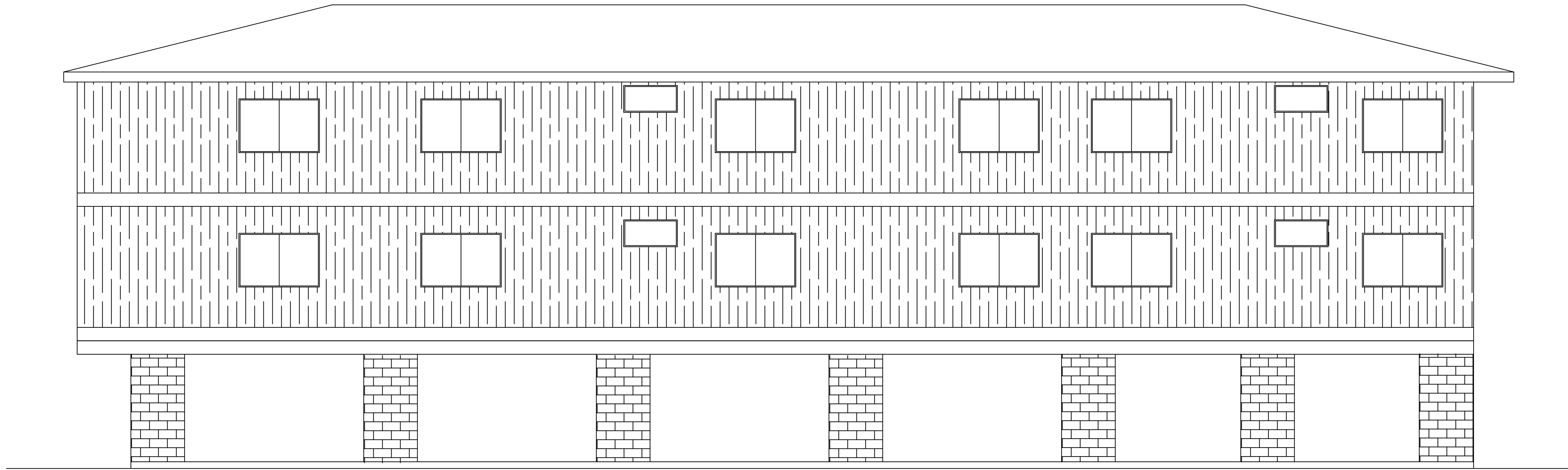
SCALE: 1/4" = 1'-0"

SCALE: $1/4" = 1'-0"$



3rd FLOOR PLAN

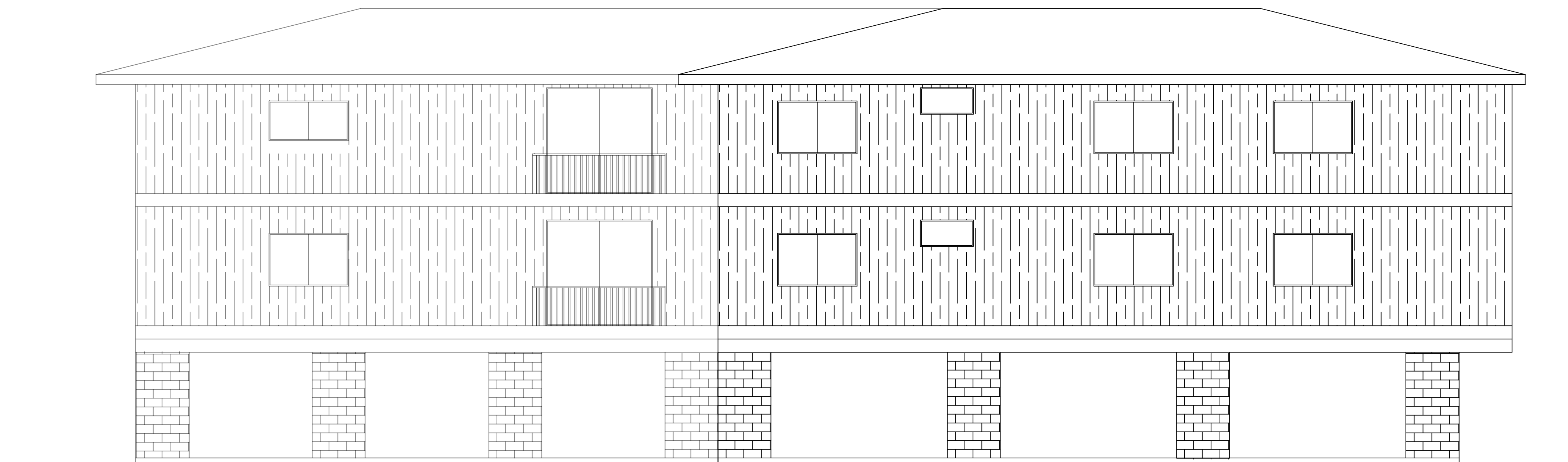
SCALE: 1/4" = 1'-0"



RIGHT



FRONT (Ocean view)



LEFT



REAR

44 ELEVATIONS

SCALE: 3/16" = 1'-0"

HAWAII COUNTY ENERGY CODE

2018 IECC, HAWAI'I REVISED STATUTES HRS 107-24 TO 28, & HAWAI'I ADMINISTRATIVE RULES HAR 3-181.1

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TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE RESIDENTIAL PROVISIONS OF THE 2018 IECC WITH AMENDMENTS PER HAWAII COUNTY CODE CHAPTER 5

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R402.1 GENERAL: EXEMPT

R402.1 GENERAL: EXCEPTION #1 1.2 STRUCTURES THAT DO NOT CONTAIN CONDITIONED SPACE (SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF SECTIONS 402.1.1 THRU 402.1.5)

☐ Tropical Zone, R 401.2.1 (must have opening area to exterior of at least 14% of floor area in each room)

☐ Prescriptive , R402

Roof and Wall

☐ Insulation R-value, Table 401.1.2

☐ Construction U-Factor, Table 401.1.4

☐ Total UA, 402.1.5

☐ Points Option, R 407

☐ Simulated Performance Alternative, R405

☐ Energy Rating Index Compliance Alternative, R406

INFORMATION CONSTRUCTION DOCUMENTS

Yes

N/A

Envelope

Roof insulation R-value

☐

☒

Roof insulation type and location

☐

☒

Roof membrane solar reflectance and thermal emittance

☐

☒

Wall insulation R-value

☐

☒

Wall insulation type and location

☐

☒

Window and skylight SHGC

☒

☐

Air leakage testing requirement

☐

☒

Air Conditioning

Air conditioning equipment capacity and efficiency

☐

☒

Programmable thermostat

☐

☒

Duct insulation R-value

☐

☒

Duct leakage testing requirement

☐

☒

Electrical

Lighting fixture locations

☐

☒

Lamp type

☒

☐

Ceiling fans

☒

☐

Whole-house fan

☐

☒

NOTES

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BUILDING CODE INFORMATION

1. FLOOR LIVE LOAD =40 psf

2. ROOF LIVE LOAD = 20 psf

3. WIND SPEED = 120 mph (per ASCE 7 HAZARD TOOL)

4. WIND EXPOSURE CATEGORY (ref. R301.2.1.4): Exposures A B **C** D

5. SEISMIC DESIGN CATEGORY (ref. Figure R301.2(2)): D1 D2 **E**

2018 IBC

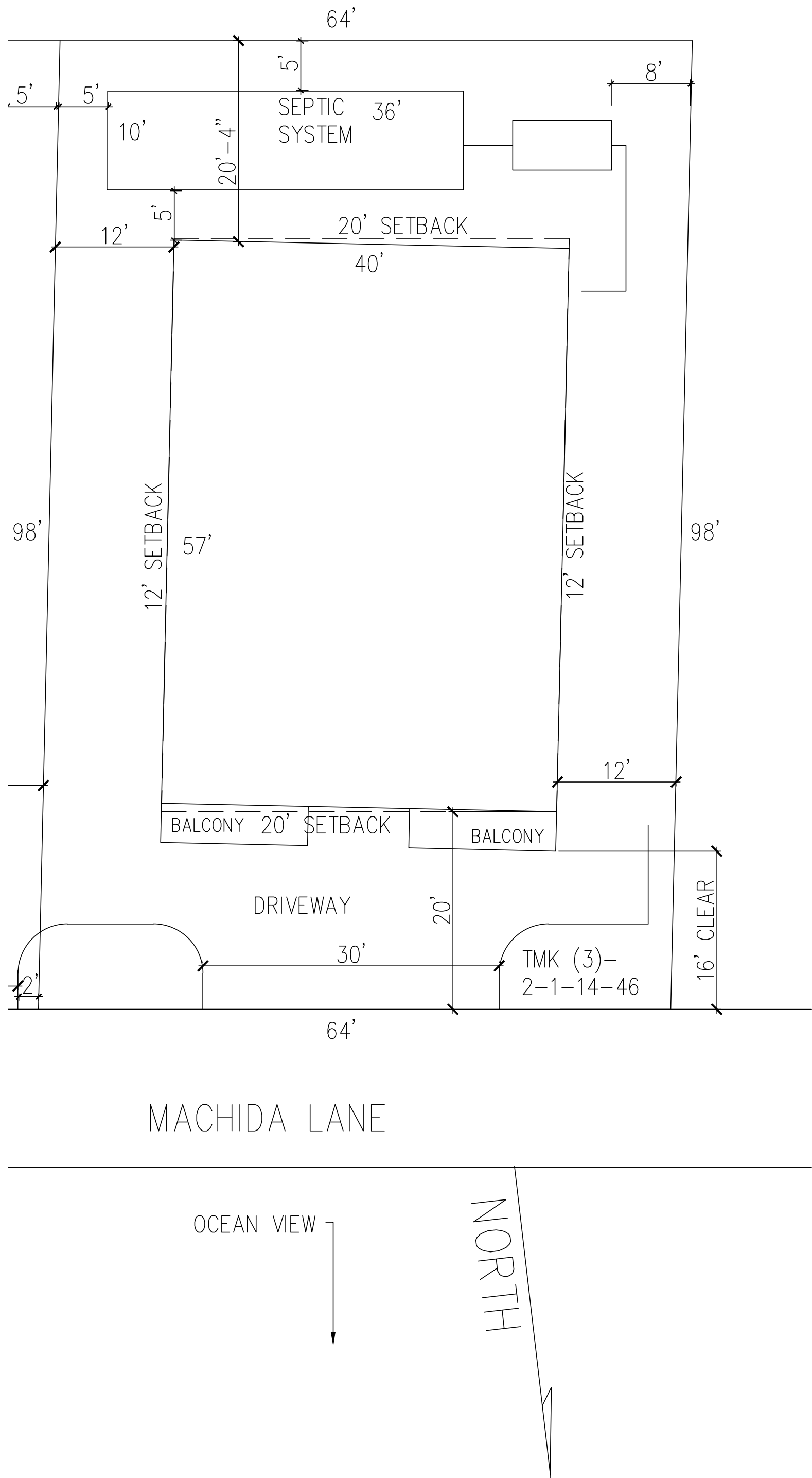
2017 NEC

2018 UPC

VB CONSTRUCTION

R-3 OCCUPANY

THIS PROJECT IS IN COMPLIANCE WITH HRS [196-6.5] "SOLAR WATER HEATER SYSTEM REQUIRED FOR NEW SINGLE FAMILY CONSTRUCTION."



SEE OVERVIEW MAP
SHOWING ALL THREE LOTS FOR
CONSTRUCTION BARRIER PLACEMENT

TIELI WANG & TIANLONG WANG

TMK# (3)-2-1-014-046

EMAIL: guijun515@gmail.com

SITE: 28 MACHIDA LANE

PHONE: 808-430-3577

APRIL 2024

DRAWN BY: VAL COLTER 808-769-2949

val.colter@yahoo.com

RES REVIEWING AGENCIES	
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
PLANNING	MECHANICAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
ENGINEERING	STRUCTURAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
DEM WASTEWATER	BUILDING
REVIEWER	
REVIEW DATE	
DOH WASTEWATER	
REVIEWER	
REVIEW DATE	
ELECTRICAL	
REVIEWER	
REVIEW DATE	
PLUMBING	

SINGLE FAMILY DWELLING

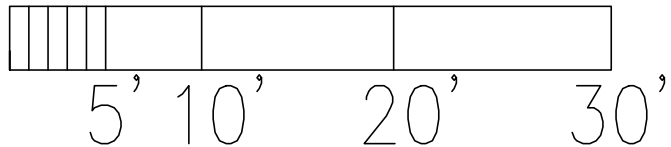
5 BEDROOM / 8 BATHROOM

ENCLOSED LIVING AREA: x SQ FT (2nd Floor 3rd Floor)

ACCESSORY AREA: x SQ FT (1st Floor 2nd Floor 3rd Floor)

PLOT PLAN

SCALE: 1" = 10'



HAWAII COUNTY ENERGY CODE

2018 IECC, HAWAI'I REVISED STATUTES HRS 107-24 TO 28, & HAWAI'I ADMINISTRATIVE RULES HAR 3-181.1

RESIDENTIAL BUILDING ENERGY EFFICIENCY STANDARDS

TO THE BEST OF MY KNOWLEDGE, THIS PROJECT'S DESIGN SUBSTANTIALLY CONFORMS TO THE RESIDENTIAL PROVISIONS OF THE 2018 IECC WITH AMENDMENTS PER HAWAII COUNTY CODE CHAPTER 5

COMPLIANCE METHOD EXEMPT

R402.1 GENERAL: EXEMPT

R402.1 GENERAL: EXCEPTION #1 1.2 STRUCTURES THAT DO NOT CONTAIN CONDITIONED SPACE (SHALL BE EXEMPT FROM THE BUILDING THERMAL ENVELOPE PROVISIONS OF SECTIONS 402.1.1 THRU 402.1.5)

☐ Tropical Zone, R 401.2.1 (must have opening area to exterior of at least 14% of floor area in each room)

☐ Prescriptive , R402

Roof and Wall

☐ Insulation R-value, Table 401.1.2

☐ Construction U-Factor, Table 401.1.4

☐ Total UA, 402.1.5

☐ Points Option, R 407

☐ Simulated Performance Alternative, R405

☐ Energy Rating Index Compliance Alternative, R406

INFORMATION CONSTRUCTION DOCUMENTS

Envelope

Roof insulation R-value

Roof insulation type and location

Roof membrane solar reflectance and thermal emittance

Wall insulation R-value

Wall insulation type and location

Window and skylight SHGC

Air leakage testing requirement

Air Conditioning

Air conditioning equipment capacity and efficiency

Programmable thermostat

Duct insulation R-value

Duct leakage testing requirement

Electrical

Lighting fixture locations

Lamp type

Ceiling fans

Whole-house fan

Yes

N/A

NOTES

R403.6.2 A CEILING FAN, ROUGH-IN, OR WHOLE HOUSE FAN IS PROVIDED FOR BEDROOMS AND THE LARGEST SPACE THAT IS NOT USED AS A BEDROOM, PROVIDED THAT THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM COMPLIES WITH THE REQUIREMENTS OF TABLE R403.6.1

90% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS (R404.1). HIGH EFFICIENCY LAMPS ARE DEFINED AS (1) T-8 OR SMALLER DIAMETER LINEAR FLUORESCENT LAMPS, (2) COMPACT FLUORESCENT, (3) 60 LUMENS/WATT IF GREATER THAN 40 WATT, 50 LUMENS/WATT IF MORE THAN 15W AND LESS THAN OR EQUAL TO 40W, 40 LUMENS/WATT IF LESS THAN OR EQUAL TO 15W, (4) MOST BUT NOT ALL LED LAMPS QUALIFY. THIS APPLIES TO PERMANENTLY INSTALLED FIXTURES. LOW VOLTAGE LIGHTING IS EXEMPT.

A CERTIFICATE OF COMPLIANCE WITH IECC 2018 - R401.3 AS AMENDED IS TO BE POSTED IN A UTILITY ROOM (OR SIMILAR) PRIOR TO FINAL INSPECTION.

ALL WINDOWS, SLIDING GLASS DOORS, AND GLAZING IN SWING DOORS SHALL BE DOUBLE PANE GLAZING WITH LOW-E COATING, WITH A SOLAR HEAT GAIN COEFFICIENT 0.25 MAXIMUM (R402.3)

BUILDING CODE INFORMATION

1. FLOOR LIVE LOAD =40 psf

2. ROOF LIVE LOAD = 20 psf

3. WIND SPEED = 120 mph (per ASCE 7 HAZARD TOOL)

4. WIND EXPOSURE CATEGORY (ref. R301.2.1.4): Exposures A B **C** D

5. SEISMIC DESIGN CATEGORY (ref. Figure R301.2(2)): D1 D2 **E**

2018 IBC

2017 NEC

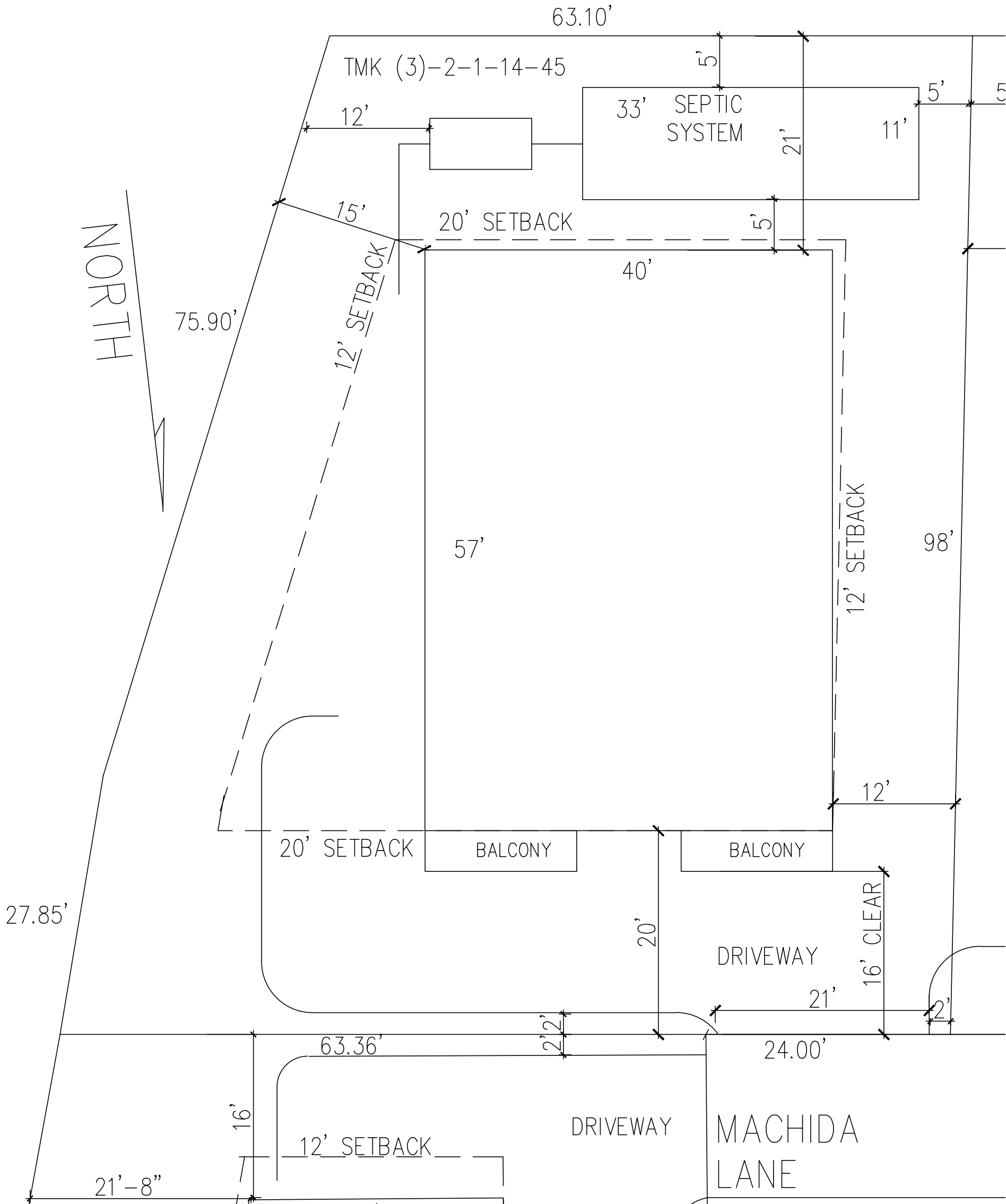
2018 UPC

VB CONSTRUCTION

R-3 OCCUPANCY

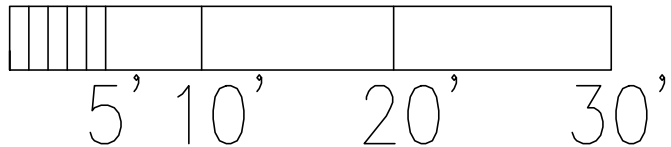
THIS PROJECT IS IN COMPLIANCE WITH HRS [196-6.5] "SOLAR WATER HEATER SYSTEM REQUIRED FOR NEW SINGLE FAMILY CONSTRUCTION."

SEE OVERVIEW MAP
SHOWING ALL THREE LOTS FOR
CONSTRUCTION BARRIER PLACEMENT



PLOT PLAN

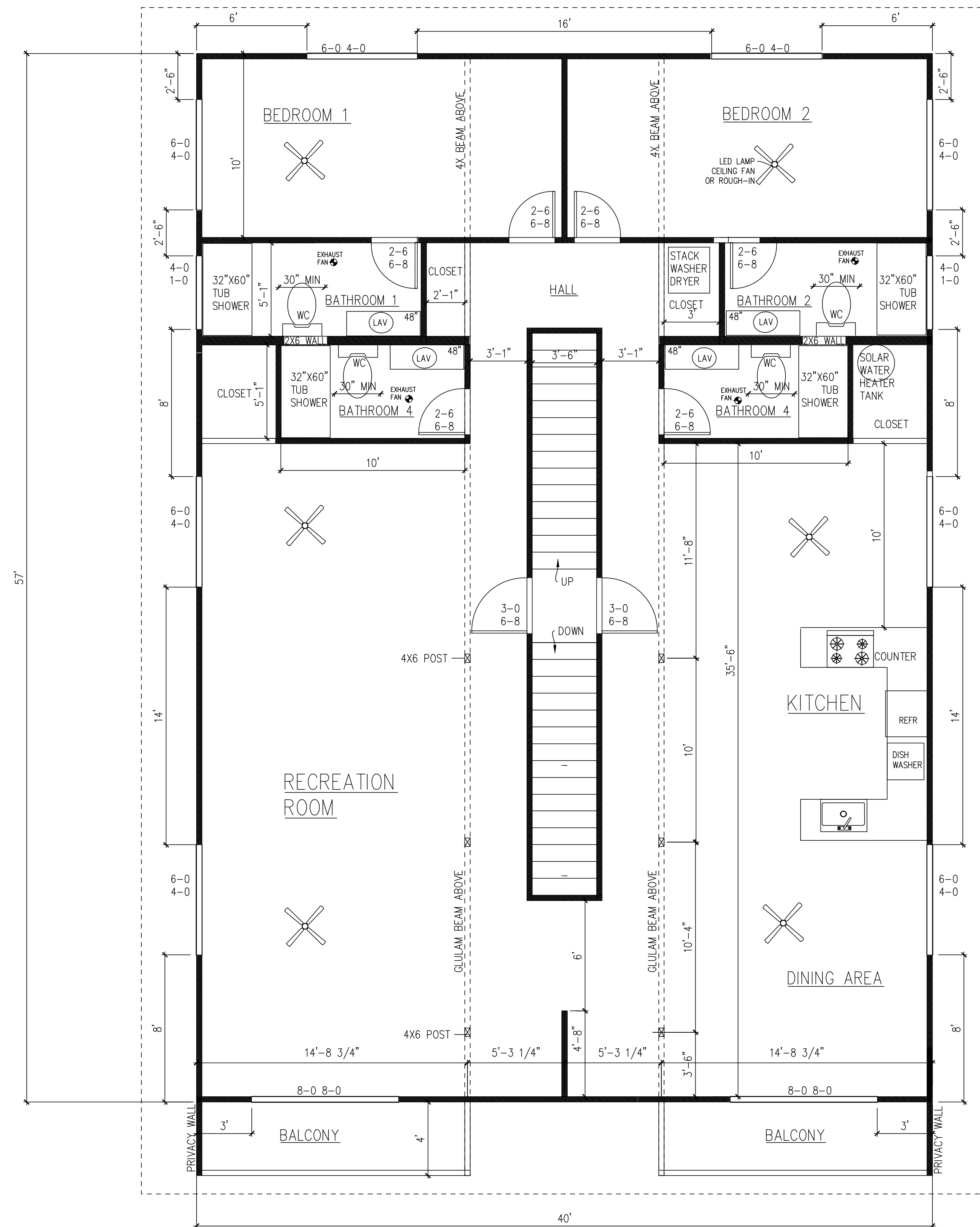
SCALE: 1" = 10'



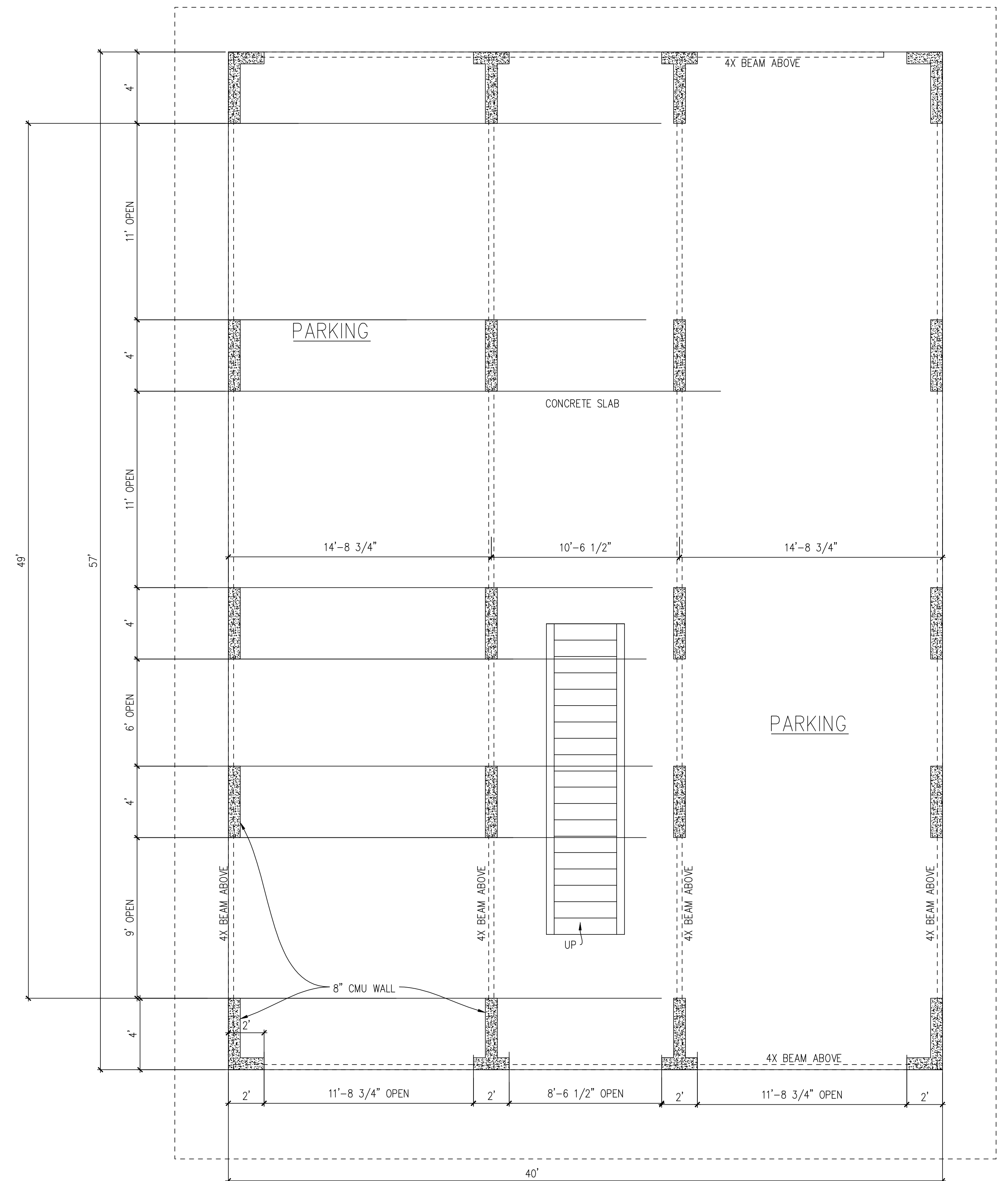
TIELI WANG & TIANLONG WANG
TMK# (3)-2-1-014-045
EMAIL: guijun515@gmail.com
SITE: 32 MACHIDA LANE
PHONE: 808-430-3577
APRIL 2024
DRAWN BY: VAL COLTER 808-769-2949
val.colter@yahoo.com

RES REVIEWING AGENCIES	
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
☐ PLANNING	☐ MECHANICAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
☐ ENGINEERING	☐ STRUCTURAL
REVIEWER	REVIEWER
REVIEW DATE	REVIEW DATE
☐ DEM WASTEWATER	☐ BUILDING
REVIEWER	
REVIEW DATE	
☐ DOH WASTEWATER	
REVIEWER	
REVIEW DATE	
☐ ELECTRICAL	
REVIEWER	
REVIEW DATE	
☐ PLUMBING	

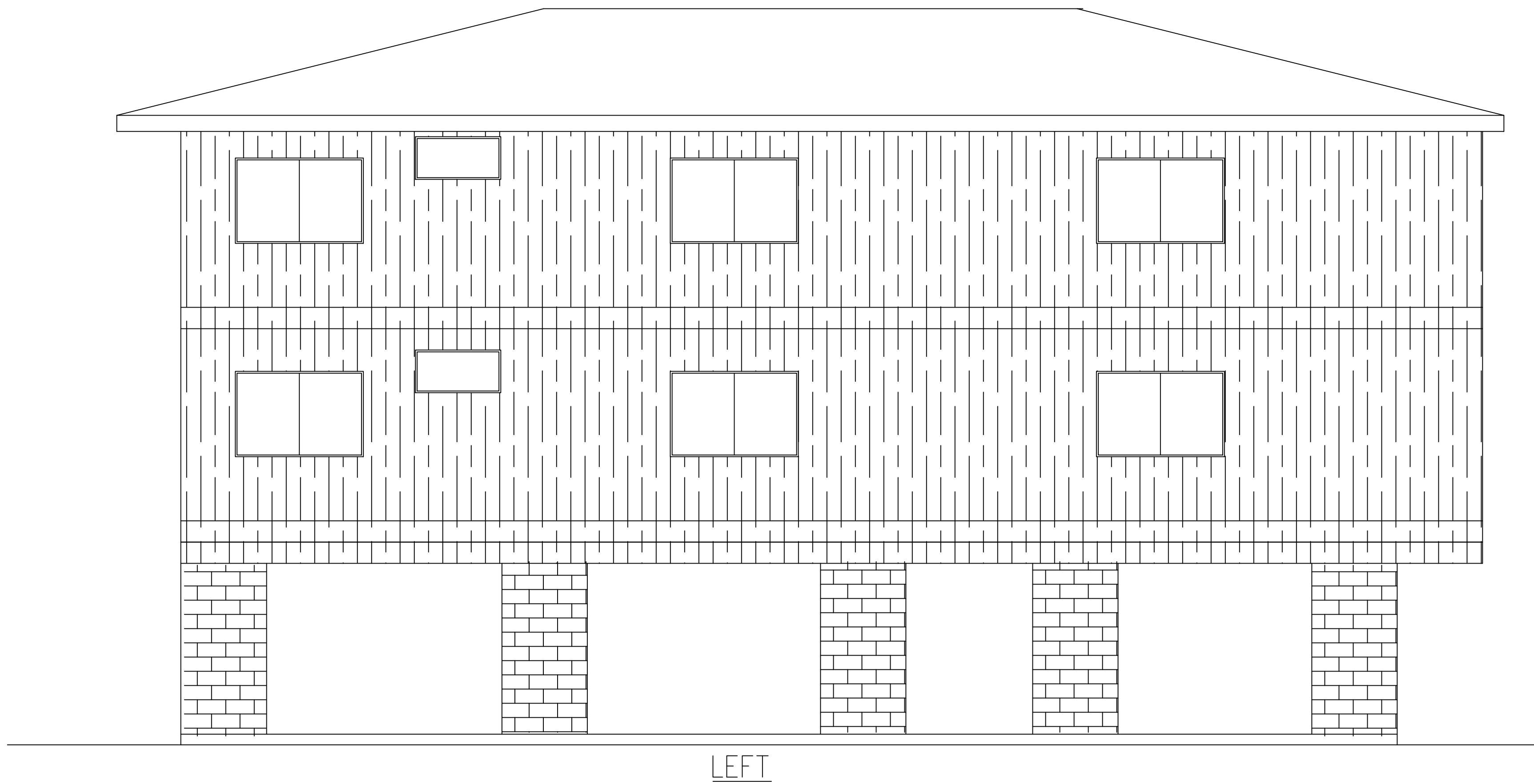
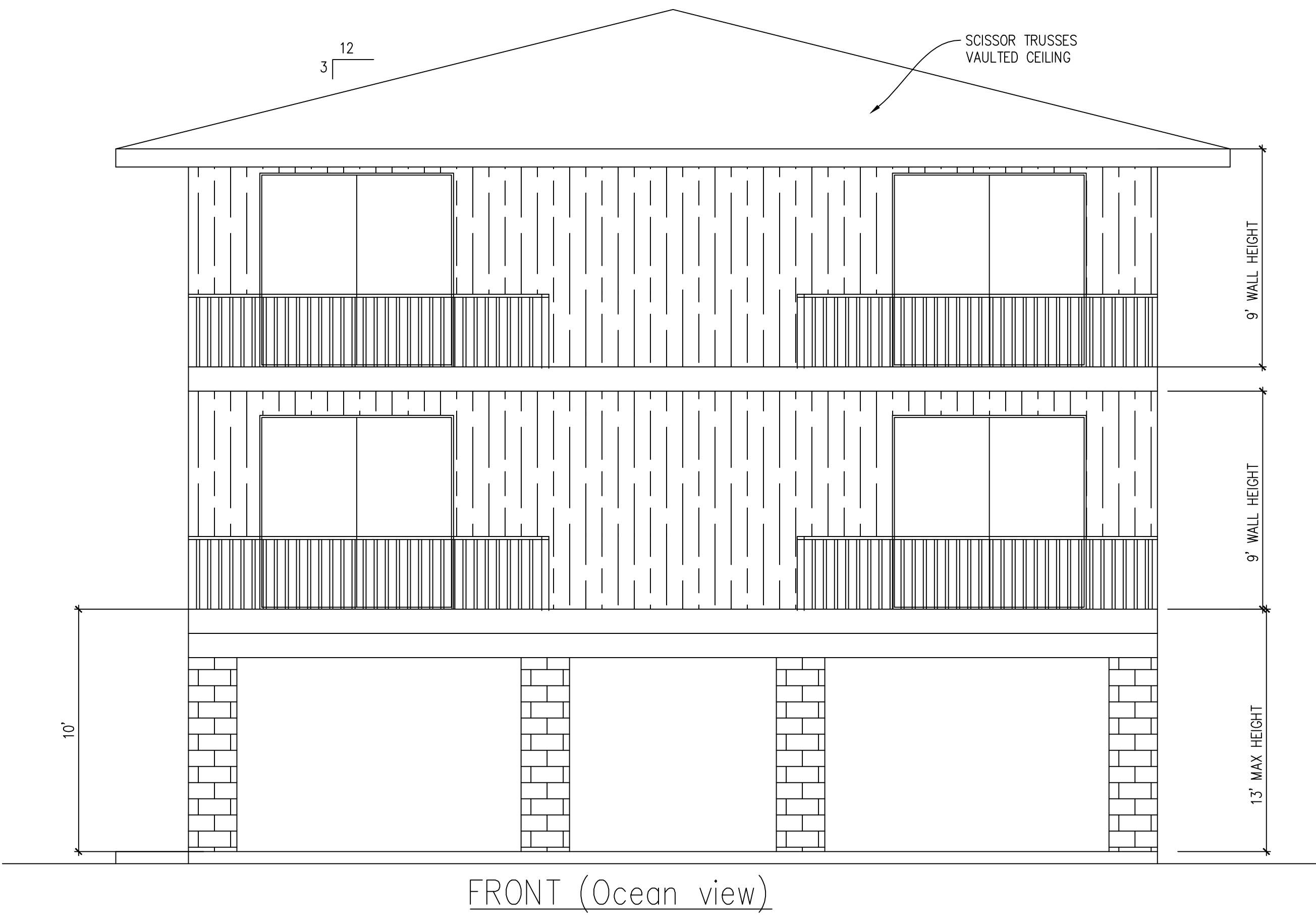
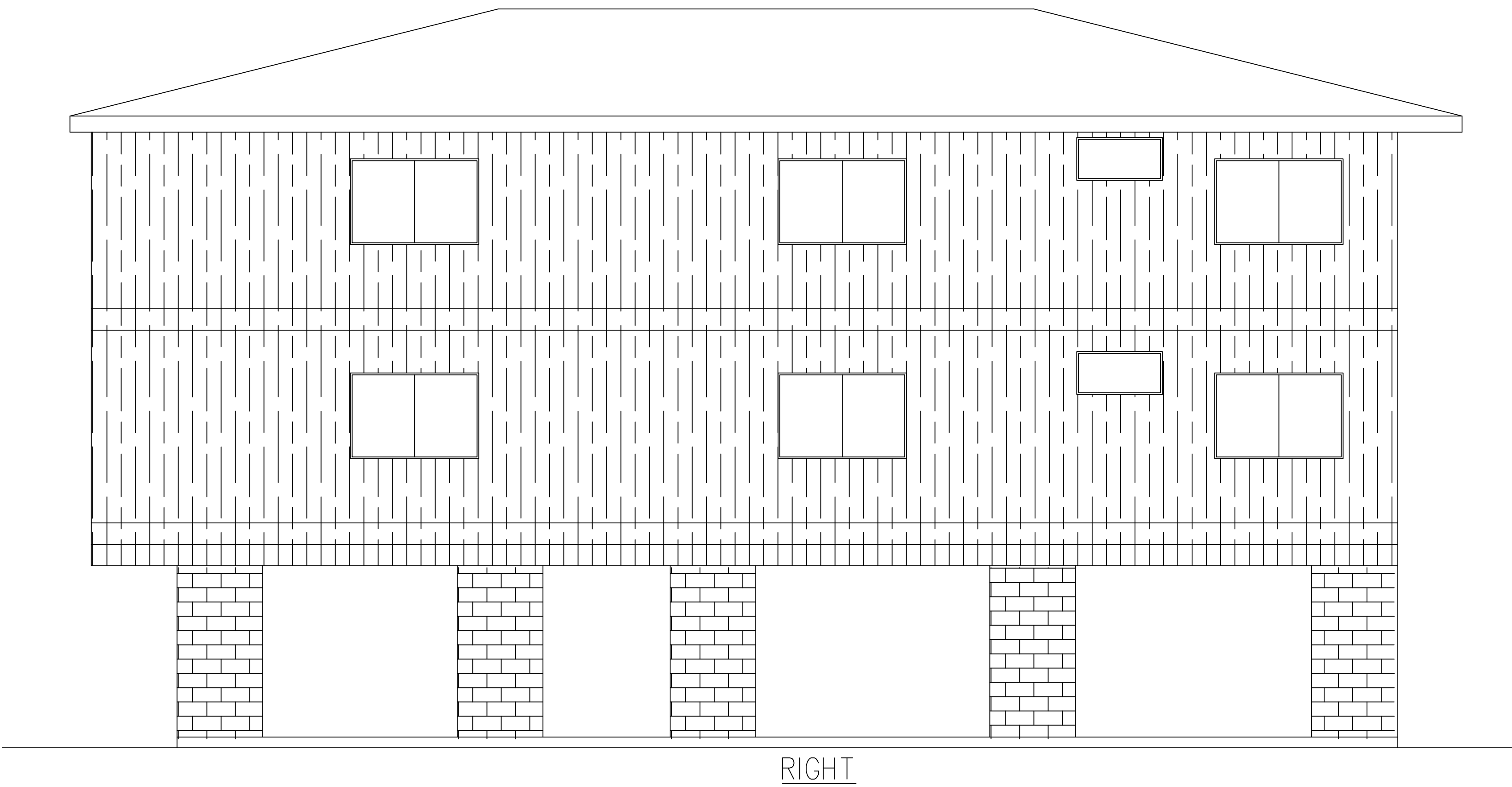
SINGLE FAMILY DWELLING
5 BEDROOM / 8 BATHROOM
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2nd FLOOR PLAN SCALE: 1/4" = 1'-0"



1st FLOOR PLAN SCALE: 1/4" = 1'-0"



ELEVATIONS

SCALE: 1/4" = 1'-0"

Mitchell D. Roth
Mayor



Benjamin T. Moszkowicz
Police Chief

Reed K. Mahuna
Deputy Police Chief

County of Hawai'i

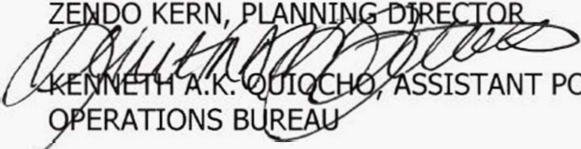
POLICE DEPARTMENT

349 Kapi'olani Street • Hilo, Hawai'i 96720-3998
(808) 935-3311 • Fax (808) 961-2389

June 17, 2024

CDH PLANNING DEPT
JUN 18 2024 PM 3:14

REC'D HAND DELIVERED

TO : ZENDO KERN, PLANNING DIRECTOR
FROM :  KENNETH A.K. QUIJCHO, ASSISTANT POLICE CHIEF, AREA I
OPERATIONS BUREAU
SUBJECT: SPECIAL MANAGEMENT AREA USE PERMIT APPLICATION
(PL-SMA-2024-000058)
APPLICANT: TIELI WANG
REQUEST: TO CONSTRUCT ONE (1) SINGLE-FAMILY RESIDENTIAL
STRUCTURE AND RELATED IMPROVEMENTS ON EACH PARCEL
TAX MAP KEY: (3) 2-1-014:044, 045, AND 046
SOUTH HILO, HAWAII

Staff, upon reviewing the provided documents, does not anticipate any significant impact to traffic and/or public safety concerns.

Thank you for allowing us the opportunity to comment.

If you have any questions, please contact our South Hilo District Commander, Captain Brian Prudencio, at (808) 961-2316 or via email at Brian.Prudencio@hawaiicounty.gov.

BP:ws/24HQ0648

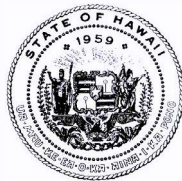
Planning Dept.
Exhibit 2

DeVera, Ashley

From: Honda, Eric T. <Eric.Honda@doh.hawaii.gov>
Sent: Monday, June 17, 2024 2:50 PM
To: Planning Internet Mail
Subject: PL-SMA-2024-000058
Attachments: PL-SMA-2024-000058 TMK2-1-014--044.pdf

Eric Honda
District Environmental Health Program Chief
Hawai'i State Department of Health | Ka 'Oihana Olakino
1582 Kamehameha Ave., Hilo HI 96720
Office: (808) 933-0917

CONFIDENTIALITY NOTICE: This mail message (and attachments) is for the sole use of the intended recipient(s). It may contain confidential and/or privileged information. It might also be protected from disclosure under the Hawai'i Uniform Information Practice Act (UIPA) or other laws and regulations. Review, use, disclosure, or distribution by unintended recipients is prohibited. If you are not the intended recipient, please contact the sender immediately in a separate e-mail and destroy the original message and any copies.



STATE OF HAWAII
DEPARTMENT OF HEALTH
P.O. BOX 916
HILO, HAWAII 96721-0916

Planning Dept.
Exhibit 3

MEMORANDUM

DATE: June 17, 2024

TO: Mr. Zendo Kern
Planning Director, County of Hawaii

FROM: Eric Honda
District Environmental Health Program Chief

SUBJECT: Special Management Area Use Permit Application (PL-SMA-2024-000058)
Applicant: Tieli Wang
Request: To Construct One (1) Single-Family Residential Structure and
Related Improvements on Each Parcel
Tax Map Key: (3) 2-1-014:044, 045, and 046, South Hilo, Hawai'i

In most cases, the District Health Office will no longer provide individual comments to agencies or project owners to expedite the land use review and process.

Agencies, project owners, and their agents should apply Department of Health "Standard Comments" regarding land use to their standard project comments in their submittal. Standard comments can be found on the Land Use Planning Review section of the Department of Health website: <https://health.hawaii.gov/epo/landuse/>. Contact information for each Branch/Office is available on that website.

Note: Agencies and project owners are responsible for adhering to all applicable standard comments and obtaining proper and necessary permits before the commencement of any work.

General summary comments have been included for your convenience. However, these comments are not all-inclusive and do not substitute for review of and compliance with all applicable standard comments for the various DOH individual programs.

Clean Air Branch

1. All project activities shall comply with the Hawaii Administrative Rules (HAR), Chapters 11-59 and 11-60.1.

2. Control of Fugitive Dust: You must reasonably control the generation of all airborne, visible fugitive dust and comply with the fugitive dust provisions of HAR §11-60.1-33. Note that activities that occur near existing residences, businesses, public areas, and major thoroughfares exacerbate potential dust concerns. It is recommended that a dust control management plan be developed which identifies and mitigates all activities that may generate airborne and visible fugitive dust and that buffer zones be established wherever possible.
3. Standard comments for the Clean Air Branch are at: <https://health.hawaii.gov/epo/landuse/>

Clean Water Branch

1. All project activities shall comply with the HAR, Chapters 11-53, 11-54, and 11-55.
 1. The following Clean Water Branch website contains information for agencies and/or project owners who are seeking comments regarding environmental compliance for their projects with HAR, Chapters 11-53, 11-54, and 11-55: <https://health.hawaii.gov/cwb/clean-water-branch-home-page/cwb-standard-comments/>.

Hazard Evaluation & Emergency Response Office

1. A Phase I Environmental Site Assessment (ESA) and Phase II Site Investigation should be conducted for projects wherever current or former activities on site may have resulted in releases of hazardous substances, including oil or chemicals. Areas of concern include current and former industrial areas, harbors, airports, and formerly and currently zoned agricultural lands used for growing sugar, pineapple or other agricultural products.
2. Standard comments for the Hazard Evaluation & Emergency Response Office are at: <https://health.hawaii.gov/epo/landuse/>.

Indoor and Radiological Health Branch

1. Project activities shall comply with HAR Chapters 11-39, 11-45, 11-46, 11-501, 11-502, 11-503, and 11-504.
2. Noise may be generated during demolition and/or construction. The applicable maximum permissible sound levels, as stated in Title 11, HAR, Chapter 11-46, "Community Noise Control," shall not be exceeded unless a noise permit is obtained from the Department of Health.
3. Construction/Demolition Involving Asbestos: If the proposed project includes renovation/demolition activities that may involve asbestos, the applicant should contact the Asbestos and Lead Section of the Branch at <https://health.hawaii.gov/irhb/asbestos/>.

Safe Drinking Water Branch

1. Agencies and/or project owners are responsible for ensuring environmental compliance for their projects in the areas of 1) Public Water Systems; 2) Underground Injection Control; and 3) Groundwater and Source Water Protection in accordance with HAR Chapters 11-19, 11-20, 11-21, 11-23, 11-23A, and 11-25. They may be responsible for fulfilling additional requirements related to the Safe Drinking Water program: <https://health.hawaii.gov/sdwb/>.
2. Standard comments for the Safe Drinking Water Branch can be found at: <https://health.hawaii.gov/epo/landuse/>.

Solid & Hazardous Waste Branch

1. Hazardous Waste Program - The state regulations for hazardous waste and used oil are in HAR Chapters 11-260.1 to 11-279.1. These rules apply to the identification, handling, transportation, storage, and disposal of regulated hazardous waste and used oil.
2. Solid Waste Programs - The laws and regulations are contained in HRS Chapters 339D, 342G, 342H, and 342I, and HAR Chapters 11-58.1 and 11-282. Generators and handlers of solid waste shall ensure proper recycling or disposal at DOH-permitted solid waste management facilities. If possible, waste prevention, reuse, and recycling are preferred options over disposal. The Office of Solid Waste Management also oversees the electronic device recycling and recovery law, the glass advanced disposal fee program, and the deposit beverage container program.
3. Underground Storage Tank Program – The state regulations for underground storage tanks are in HAR Chapter 11-280.1. These rules apply to the design, operation, closure, and release response requirements for underground storage tank systems, including unknown underground tanks identified during construction.
4. Standard comments for the Solid & Hazardous Waste Branch can be found at: <https://health.hawaii.gov/epo/landuse/>.

Wastewater Branch

For comments, please email the Wastewater Branch at doh.wwb@doh.hawaii.gov.

Sanitation / Local DOH Comments:

1. According to HAR §11-26-35, No person, firm, or corporation shall demolish or clear any structure without first ascertaining the presence or absence of rodents that may endanger public health by dispersal from such premises. Should any such inspection reveal the presence of rodents, the rodents shall be eradicated before demolishing or clearing the structure. A demolition permit is required prior to demolition.

Other

1. [CDC - Healthy Places - Healthy Community Design Checklist Toolkit](#) recommends that state and county planning departments, developers, planners, engineers, and other interested parties apply these principles when planning or reviewing new developments or redevelopment projects.
2. If new information is found or changes are made to your submittal, DOH reserves the right to implement appropriate environmental health restrictions as required. Should there be any questions on this matter, please contact the Department of Health, Hawaii District Health Office, at (808) 933-0917.

Mitchell D. Roth
Mayor

Deanna S. Sako
Managing Director



Ramzi I. Mansour
Director

Brenda Iokepa-Moses
Deputy Director

County of Hawai'i

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

345 Kekūanāo'a Street, Suite 41 · Hilo, Hawai'i 96720 · cohdem@hawaiiicounty.gov
Ph: (808) 961-8083 · Fax: (808) 961-8086

MEMORANDUM

TO: Zendo Kern, Director
Planning Department

FROM: Ramzi I. Mansour, Director *Brenda I. Iokepa-Moses*
Department of Environmental Management

DATE: July 5, 2024

SUBJECT: **Special Management Area Use Permit Application (PL-SMA-2024-000058)**
Applicant: Tieli Wang
Request: To Construct One (1) Single-Family Residential Structure and
Related Improvements on Each Parcel
Tax Map Key: (3) 2-1-014:044, 045, and 046, South Hilo, Hawai'i

The Solid Waste Division has reviewed the subject application and provides the following comments (Contact the Solid Waste Division for details).

- Commercial operations, State and Federal agencies, religious entities and non-profit organizations may not use transfer stations for disposal.
- Aggregates and any other construction/demolition waste should be responsibly reused to its fullest extent.
- Green waste may be transported to the green waste sites located at the West Hawai'i Organics Facility and East Hawai'i Organics Facility, or other suitable diversion programs.
- Construction and demolition waste is prohibited at all County Transfer Stations.

The Wastewater Division has reviewed the subject application and provides the following comment:

- Require extension of the sewer system to service the proposed subdivision in accordance with Section 23-85 of the Hawai'i County Code.

Planning Dept.
Exhibit 4

DEPARTMENT OF PUBLIC WORKS
COUNTY OF HAWAII
HILO, HAWAII

DATE: July 11, 2024

Memorandum

TO: Zendo Kern, Planning Director

FROM: Department of Public Works, Engineering Division



SUBJECT: Special Management Area Use Permit Application (PL-SMA-2024-000058)
Applicant: Tieli Wang
Request: To Construct One (1) Single-Family Residential Structure and
Related Improvements on Each Parcel
TMK: 2-1-014:044, 045, and 046

We have reviewed the subject request and provide the following comments:

1. The subject parcels are in an area designated as Flood Zone VE on the Flood Insurance Rate Map (FIRM) by the Federal Emergency Management Agency (FEMA). Flood Zone VE is the Special Flood Hazard Area inundated by the 100-year coastal flood (1% chance of occurring in any given year) with velocity hazard (wave action). All construction within Flood Zone VE shall comply with the requirements of Hawaii County Code (HCC), Chapter 27, Floodplain Management.
2. All earthwork and grading shall conform to Chapter 10, Erosion and Sediment Control, of the HCC as well as Chapter 27. Any amount of material proposed to be imported/exported or relocated on-site will require a no rise certification stamped by a Hawaii licensed civil engineer since all 3 properties are within the VE floodzone.

Questions may be referred to Robyn Matsumoto at 961-8924.

Planning Dept.
Exhibit <u>5</u>