

COUNTY OF HAWAI‘I PLANNING DEPARTMENT BACKGROUND REPORT

IKAIKA OHANA

AMENDMENT TO CHANGE OF ZONE ORDINANCE NO. 21 17

(PL-REZ-2025-000082/AMEND REZ-2009-000103)

IKAIKA OHANA has submitted an application for a five (5) year time extension to Condition D (complete construction) of Ordinance No. 21 17, successor ordinance to Ordinance No. 10 32, which reclassified 5.05 acres of land from a Single-Family Residential-7,500 square feet (RS-7.5) and Multiple-Family Residential-1,000 square feet (RM-1) to a Multiple-Family Residential-1,500 square feet (RM-1.5) zoned district. The subject property is located at 350 Kapi‘olani Street, approximately 395 feet south of its intersection with Kūkūau Street, Kūkūau 1st, South Hilo, Hawai‘i, TMK: (3) 2-4-025:048.

Applicant’s Request

1. **Applicants’ Request:** **Ikaika Ohana**, has requested a 5-year time extension to Condition D (complete construction) of Ordinance No. 21 17, which was approved by the County Council and effective on March 1, 2021.
2. **Reason for the Request:** Ikaika Ohana is a nonprofit 501(c)3 organization with a mission of developing and operating affordable housing, including projects on the mainland, O‘ahu, Maui, three (3) existing affordable rental projects in Hilo and one (1) in Waikoloa. Since the last amendment to the ordinance was approved in 2021, the applicant has been successful in complying with conditions of approval and obtaining the necessary permits and approvals to begin construction of the project. The request for a 5-year time extension to complete construction of the *Kaiāulu O Kapi‘olani* affordable housing project is, in part, due to delays caused by additional financing requirements from the State of Hawai‘i. The project was expected to be completed by March 2026, however, the developer faced unforeseen challenges in securing necessary funding, including State and Federal Tax Credits and Federal Tax-Exempt Bonds Financing. The project applied for additional financing from Hawai‘i Housing Finance and Development Corporation (HHFDC) this year for State and Federal Tax Credits in the amount of \$40,721,726 and Federal Tax-Exempt Bonds Financing in the amount of \$38,326,000. An award letter is expected by August 2025, which would allow the applicant to start

construction no later than January 2026, with an estimated completion timeline of 18-24 months. To ensure the project's successful completion and to accommodate potential delays, the developer is conservatively requesting an extension of the construction deadline to March 2031.

3. **Proposed Project:** Upon transfer of property ownership, Ikaika Ohana is proposing to develop *Kaiaulu O Kapiolani*, a 64-unit, 100% affordable rental housing development (63 units with income restrictions between 30% and 60% of area median income and one (1) unrestricted manager's unit). The site plan for Final Plan Approval included twenty-eight (28), two (2)-bedroom units, twenty-nine (29), three (3)-bedroom units and seven (7), four (4)-bedroom units within nine (9), two (2)-story buildings. Also included are a community center building, play area, two (2) laundry facilities, two (2) community gardens, and 117 parking stalls including five (5) handicapped stalls. According to the requirements of the State's HHFDC funding, the affordable housing units must maintain affordability metrics for a minimum of 65 years, but the applicant indicated that they intend to make the housing affordable in perpetuity.
4. **Construction Timetable and Cost:** Construction of the proposed affordable housing project is anticipated to begin in the first quarter of 2026, take 18-24 months to complete and is estimated to cost approximately \$79 Million.
5. **Hawai'i Revised Statutes Chapter 343:** The use of Federal and State funding for the proposed affordable housing project triggered the requirement for an Environmental Assessment (EA) under HRS Chapter 343. The Final EA/Finding of No Significant Impact (FONSI) was issued by the office of Housing and Community Development (OHCD) on December 5, 2022.
6. **Landowner:** Giampaolo Boschetti under purchase and sale agreement with A0705 Hilo, L.P.
7. **Supportive Information:** The applicant has submitted the attached in support of the request. **(P.D. Exhibit 1 – Change of Zone Amendment Request dated June 9, 2025, which includes the latest Annual Progress Report)**

PERMITTING HISTORY

8. **May 10, 2010** – Effective Date of Ordinance No. 10 32, which reclassified 5.05 acres of land from a Single-Family Residential – 7,500 square feet (RS-7.5) and Multiple-Family

Residential – 1,000 square feet (RM-1) to a Multiple-Family Residential – 1,500 square feet (RM-1.5) zoned district.

9. **January 28, 2015** – Effective Date of Final Subdivision Approval (CON-14-000267-Revised) consolidating the three (3) subject parcels and subdividing Lot 9-L-6-A (10-foot road widening strip as required by Condition D and Condition G of the subject change of zone ordinance.
10. **April 20, 2015** – Date of letter from Planning Director granting a five (5)-year administrative time extension to May 10, 2020, to comply with Condition E (Time to Complete Construction) and Condition G (Time to Dedicate Road Widening Strip).
11. **March 1, 2021** – Effective Date of Ordinance No. 21 17, which granted a 5-year time extension to March 1, 2026, to complete construction and other non-substantive amendments.
12. **August 8, 2022**: Publication date of Final Environmental Assessment and Finding of No Significant Impact for the *Kaiāulu O Kapi‘olani* affordable housing project.
13. **August 24, 2022**: Issuance date of Final Plan Approval for a 64-unit affordable rental project and related improvements.
14. **June 3, 2025**: Date Building Permits for the proposed development were issued. Note that permits were applied for in 2022 and 2023.

STATE AND COUNTY PLANS

15. **State Land Use Designation:** Urban.
16. **County Zoning:** Multiple-Family Residential – 1,500 square feet (RM-1.5).
17. **GP LUPAG Map:** Medium Density Urban.
18. **Hilo Community Development Plan (CDP):** The Hilo Community Development Plan adopted by Planning Commission Resolution No. 1 on May 21, 1975, identifies the area as RS/RM/PUD.
19. **Special Management Area (SMA):** The Special Management Area is a part of the Coastal Zone Management Program and regulated by the County. The site is located approximately ½ mile from the nearest shoreline and is not situated within the SMA.

DESCRIPTION OF SUBJECT PROPERTIES AND SURROUNDING AREA

20. **Subject Property:** The subject property is 5.05 acres, irregularly shaped and abuts Kūkūau Street along its northern border and Kapi‘olani Street along its eastern boundary,

and parcel 48 has no roadway frontage. The property is currently vacant of any structures or improvements.

21. **Surrounding Zoning/Land Uses:** Surrounding properties in the general area are zoned RS-7.5, RD-3.75, and RM-1. Land uses within the vicinity include the Hawai'i Vision Specialists medical office directly adjacent to the east, the County Police Department Headquarters complex located immediately east of Kapi'olani Street, St. Joseph's School to the southeast and single-family and multiple family residences such as Hualālai Subdivision to the southwest and Sunset Villas Condominiums to the north.
22. **FIRM:** Zone "X", an area of minimal flood hazard. Major depression ponding occurs east of the parcel along Kapi'olani Street. As required by Condition I of the Ordinance, the applicant prepared a drainage study that was reviewed and approved by the Department of Public Works in 2021, prior to receipt of Final Plan Approval.
23. **Floral/Faunal Resources:** A *Botanical Survey, Mohouli Drainage Area* was conducted by Geometrician Associates, LLC and a *Survey of Avian and Terrestrial Mammalian Species, Kūkūau Street to Kapi'olani Road Mohouli Drainage Improvement Project* was conducted by Rana Productions, Ltd in September 2006 for the County Department of Public Works' project to acquire existing drainage way lands. The subject properties were included in these surveys. The current vegetation on the site, which consists of a dense forest of large alien trees, groundcover and alien vines, has been heavily modified by human use. According to these surveys, no listed, threatened, or endangered plant, mammalian or avian species were found on the properties.
24. **Historical/Archaeological/Cultural Resources:** An *Archaeological Inventory Survey and Limited Cultural Assessment for the Proposed Acquisition of Drainageway Lands Project* was conducted by Rechtman Consulting, LLC in August 2006 which included the subject properties. The survey identified a single archaeological site on parcel 48 identified as SHPD Site 25547 and determined the site is probably historic in origin and considered significant for the information it has yielded regarding early twentieth century use. The survey concluded that the site was recorded in detail and has virtually no excavation potential, thus requires no further work or preservation. Additionally, the survey concluded that the properties do not contain valued cultural or natural resources, and no traditional or customary native Hawaiian rights are being practiced on the site.

As only a portion of former Parcel 80 was covered under the AIS referenced above, the applicant commissioned an Archaeological Field Inspection (AFI) for the entirety of Parcel 80, which was completed by ASM Affiliates in September 2020. The archaeologists conducted a 100% coverage surface inspection of the parcel, where no historic properties were observed. Based on the preceding, the report concluded that the proposed change of zone amendments would have no effect on historic properties. A copy of the AFI was sent to the State Historic Preservation Division (SHPD) for review under HRS Chapter 6E. By letter dated December 5, 2022, SHPD determined that “no historic properties affected” for the current project.

25. **Public Access:** There is no record of designated public access to the shoreline or mountain areas that traverse the properties.
26. **Traffic:** The applicant submitted a second TIAR with the amendment request in 2020 that analyzed the impacts of the new, 64-unit affordable rental housing development on three (3) intersections: 1) Kupukupu Street/Kūkūau Street (project access at Kūkūau Street); 2) Kapi‘olani Street/Kūkūau Street; and Kapi‘olani Street/Hualālai Street. Based on 2019 counts, existing traffic volumes in the study area were generally light with the studied roadways servicing local traffic only. The study intersections operated satisfactorily during both peak hours of traffic with all movements operating at level of service (LOS) C or better. The TIAR determined that at full build out, the project is projected to generate a total of 32 net external trips during the AM peak hours of traffic, and 42 net external trips during the PM peak hours of traffic. Despite the added traffic, all movements will continue to operate like existing conditions at LOS C or better during the AM peak hour of traffic and LOS D or better during the PM peak hour. Both project access intersections are anticipated to operate with all movements at LOS B or better during both peak hours. Based on the preceding, there were no traffic mitigation conditions added to the ordinance.

PUBLIC UTILITIES AND SERVICES

27. **Access:** Access to the subject property is from Kūkūau Street and Kapi‘olani Street. Kūkūau Street is a two-lane County roadway, classified as a collector, having a pavement width of 15 to 17 feet within an approximately 15 to 20 feet right-of-way width fronting parcel 80. Kapi‘olani Street is a two-lane County roadway, classified as a secondary

arterial, with an existing pavement width of 28 feet within a 40-foot right-of-way fronting parcel 53. The Kapi‘olani Street frontage is improved with a concrete curb, gutter and sidewalk; asphalt sidewalk berms exist along the Kūkūau Street property frontage. As required by Condition E of the ordinance, the applicant subdivided and dedicated a 10-foot-wide future road widening strip along the entire Kapi‘olani Street frontage of the property.

28. **Water:** County water is available to the property via an existing eight (8)-inch water line within Kapi‘olani Street and a six (6)-inch water line within Kūkūau Street, however, there are no existing services to the subject parcels. As required by Condition B of the ordinance, the applicant submitted anticipated maximum daily water usage calculations to the Department of Water Supply (DWS), securing 64 water commitments and are up to date on payment of annual water commitment fees.
29. **Wastewater System:** A County sewer line is located along Kūkūau Street fronting the subject parcel that the proposed project will connect to the County Sewer. Condition K of the ordinance requires the applicant to conduct a sewer study in accordance with applicable wastewater system design standards prior to approval to connect to the County sewer system and construct necessary improvements for such a connection. According to the applicant, civil plans and supporting wastewater generation calculations were reviewed and approved by the Department of Environmental Management (DEM) for the connection to the County Sewer system. The original approval of the civil plans by the DEM was dated May 3, 2022, and the plans were re-approved on August 9, 2023, when a grease trap was added to the Community Center Building.
30. **Solid Waste:** Solid waste will be disposed of at an authorized landfill by commercial haulers or individual homeowners. Pursuant to Condition L of the ordinance, the applicant submitted a Solid Waste Management Plan to the Department of Environmental Management (DEM) and received approval.
31. **Essential Utilities and Services:** Telephone services are available to the property. According to HELCO, off-site electrical distribution systems will need to be upgraded and on-site distribution systems will need to be installed by the applicant to provide electrical services for the project. Police services are located adjacent to the property, across Kapi‘olani Street. Fire services are located in downtown Hilo. Medical services

are available at Hilo Medical Center.

AGENCIES' AND ORGANIZATIONS' COMMENTS

32. Since this request is solely for a time extension and the applicant has already secured building permits in accordance with all ordinance requirements, the Planning Department did not request or receive any agency comments regarding the amendment request

PUBLIC COMMENTS

33. None as of the date of this writing.



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June 9, 2025

Jeff Darrow
Planning Director, County of Hawai'i
East Hawai'i Office
101 Pauahi Street, Suite 3
Hilo, Hawai'i 96720
Phone (808) 961-8742

Subject: Ordinance No. 21 17: Request for Time Extension and Amendment to Conditions (an amendment to Change of Zone Ordinance No. 10 32)
Project: A0705 Hilo, L.P. (Kaiāulu O Kapi'olani affordable housing) located at 350 Kapi'olani Street, Hilo, HI 96720 (TMK 2-4-025:048)
Applicant: Ikaika Ohana

Dear Mr. Darrow,

On behalf of the property owner/applicant, Mr. Giampaolo Boschetti, and the developer, Ikaika Ohana, please accept this letter requesting a time extension / amendment to Condition D identified in Rezoning Ordinance No. 21 17, effective March 9, 2021, for the subject project, to allow additional time for construction completion. Mr. Boschetti entered into a purchase and sale agreement for the property with A0705 Hilo LP, an affiliate of Ikaika Ohana, to develop 64 multi-family affordable rental housing apartments serving households earning between 30-60% area median income.

The project will meet all the other conditions set forth in the rezoning ordinance, except for Condition D, which is the construction completion deadline. Initial approval was received March 2021, which means the construction would need to be completed by March of 2026. The project is requesting an extension to March 2031 to be conservative. Our current schedule has construction completion much earlier, by September 2027.

The applicant is only requesting a time extension to complete construction of the project. There is no request for amendment to any other condition of approval under Rezoning Ordinance, as all other conditions have been followed and/or completed. The annual progress report to Planning provided supporting documentation as evidence that conditions were met, including approved and permitted construction plans. The affordable housing project plans have not changed whatsoever, and they conform to the County of Hawaii's General Plan and Zoning Code. Granting this time extension allows for



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the successful completion of this project, one of the first new multifamily affordable developments in decades. The original granting of the change of zone allowed for this site to accommodate our affordable housing units.

The delay, in-part, was due to the additional requirements of the State of Hawaii to finance affordable housing. The project applied for additional financing from Hawaii Housing Finance & Development Corporation (HHFDC) this year for State and Federal Tax Credits in the amount of \$40,721,726 and Federal Tax-Exempt Bonds Financing in the amount of \$38,326,000. An award letter is expected by August 2025, which would allow us to start construction no later than January 2026.

This year, HHFDC gave substantial scoring preference to projects that have building permits, given substantial construction cost increases since 2021. This project now has approved building permits by the County of Hawaii. The investors and lenders, however, will not close the financing if the developer cannot complete the project by March 2026. We plan to close financing by November of 2025 and start construction no later than January of 2026. While our actual construction timeline is considerably shorter, estimated at 18-24 months, the investors and lenders may want to match the construction loan terms which will include the lease up and stabilization of the project and one 6-month extension. This will be our forthcoming request to planning and we hope to receive approval on an expedited timeline.

The developer has continued to move the project forward with key milestones listed below:

- Approved building and grading permits
- Signed easements with neighbors in escrow
- Signed updated purchase agreement
- Approved subsidy layering with an update in process
- Completed deregistration from land court
- Completed lot consolidation and subdivision
- Approved solid waste management plan
- Signed affordable housing agreement
- Updated environmental reports

Supporting documents provided to Planning for conditions under the Rezoning Ordinance:

- B. DWS receipt showing annual water commitment deposits
- C. Approved reduced pressure backflow preventer plans
- E1. Subdivision approval letter and plans
- E2. Dedication deed for the 10-foot road widening strip dedicated to the County



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- E3. Affidavit and revised final plat map for the consolidation and subdivision
- E4. ALTA survey prepared by licensed surveyor
- H. Approved offsite drainage report
- K. Approved solid waste management plan
- L. SHPD letter for the project
- M. Fair share exemption letter
- N. Affordable housing agreement with the Office of Housing (OHCD)

Thank you,

Grant Bigley

Grant Bigley
Vice President
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714-873-5687

cc: Douglas Bigley
President
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May 12, 2025

Jeff Darrow
Planning Director, County of Hawai'i
East Hawai'i Office
101 Pauahi Street, Suite 3
Hilo, Hawai'i 96720
Phone (808) 961-8742

Subject: Annual Progress Report for A0705 Hilo, L.P. (Kaiāulu O Kapi'olani) located at 350 Kapi'olani Street, Hilo, HI 96720 (TMK 2-4-025:048)

Regarding the Amendment to Change of Zone Ordinance No. 10 32 (REZ 09-000103). Ordinance No. 21 17 for Condition Q. Applicant is Ikaika Ohana, formerly Giampaolo Paul Boschetti ("the Partnership").

Dear Mr. Darrow,

On behalf of the property owner/applicant, Mr. Giampaolo Boschetti, Ikaika Ohana is submitting this **annual progress report** for your review and consideration. The following is required under Condition Q, a report on the status of the conditions of approval for Ordinance No. 21 17, an amendment to Change of Zone Ordinance No. 10 32. The development is 64 units of affordable multifamily housing, including 2, 3, 4-bedroom / 2 bath for families earning between 30 and 60 percent of area median income in Hilo.

The project will meet or exceed all the conditions set forth in the rezoning ordinance and Final Planning Approval, except for Condition D, the Completion of the Development in 5 years given that initial approval was received March 2021, which means the construction would need to be completed by March of 2026. The delay, in-part, was due to the additional requirements of the State of Hawaii to finance affordable housing. We have applied for financing for this project from Hawaii Housing Finance & Development Corporation (HHFDC) for State and Federal Tax Credits in the amount of \$40721,726 and Federal Tax-Exempt Bonds Financing in the amount of \$38,326,000. HHFDC is giving substantial scoring preference to projects that have their building permits. This project has its building permits approved by the County of Hawaii, ready for issuance and start of construction. The investors and lenders however will not close the financing if the developer cannot complete the project by March 2026. Our escrow expires at the end of this year. Therefore, we plan to close our financing by November of 2025 and commence construction no later than January of 2026. We will be seeking from planning an extension



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to complete the project of not less than 42 months. While the actual construction timeline is considerably shorter, estimated 18-24 months, the investors and lenders may want to match the construction loan terms which will include the lease up and stabilization of the project and one 6-month extension. This will be our forthcoming request to planning and we hope to receive approval on an expedited timeline so we can close before Thanksgiving.

General update/milestones completed:

- Approved building and grading permits
- Signed easements with neighbors in escrow
- Signed updated purchase agreement
- Approved subsidy layering with an update in process
- Completed deregistration from land court
- Completed lot consolidation and subdivision
- Approved solid waste management plan
- Signed affordable housing agreement
- Updated environmental reports

Critical path items remaining:

- Additional financing: The developer also submitted a new application for additional financing with Hawaii Housing Finance and Development Corporation (HHFDC). An award letter is expected by August this year.
- Purchase agreement: Last year, the developer renegotiated its purchase agreement with the landowner, and it now allows for additional time for the financial closing. The deadline from the previous agreement lapsed. The parcel was briefly put back onto the market, then removed after a new agreement was signed.

Condition A

The applicant(s), its successors or assigns shall be responsible for complying with all of the stated conditions of approval.

Response:

The applicant, successors, and assigns will comply with all stated conditions of approval.

Condition B

Prior to the issuance of a water commitment by the Department of Water Supply



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("DWS"), the applicant shall submit the anticipated maximum daily water usage calculations ~~as recommended by a registered engineer, and a 'Water commitment deposit in accordance with the "Water Commitment Guidelines Policy" to the Department of Water Supply within one hundred and eighty days from the effective date of this ordinance.]~~ as prepared by a professional engineer licensed in the State of Hawai'i to the DWS. A water commitment deposit shall be paid to the DWS within 180 days from the effective date of this ordinance in accordance with Rule 5 of the Department of Water Supply's Rules and Regulations. The applicant is responsible for maintaining valid water commitments to support the proposed use until such time that required water facilities charges are paid in full.

Response:

See attached Exhibit B for confirmation of the water commitment deposits. County of Hawaii Department of Water Supply provides a receipt after the annual payment.

Condition C

The applicant[s] shall install a reduced pressure type backflow prevention assembly within five (5) feet of the water meter on private property, which must be inspected and approved by the Department of Water Supply prior to the issuance of a Certificate of Occupancy.

Response:

DWS approved reduced pressure backflow preventer plans shown on page C-02.9 after the water meter. Exhibit C provides a link to the building plans which have been reviewed, signed and approved by the County of Hawaii.

Condition D

Construction of the proposed development, shall be completed within five (5) years from the effective date of this amended ordinance. Prior to construction, the applicant, successors or assigns shall secure Final Plan Approval for the proposed development from the Planning Director in accordance with Section 25-2-70, Chapter 25 (Zoning Code), Hawai'i County Code. Plans shall identify all existing and/or proposed structures, paved driveway accesses and parking stalls associated with the proposed development. The applicant shall develop parking spaces associated with the proposed development in accordance with the required parking spaces pursuant to Sections 25-4-51 and 25-4-52, Chapter 25 (Zoning Code), Hawai'i County Code. In addition, the applicant shall develop additional parking spaces up to a maximum of 60% of the required spaces for the total



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residential units to be built within the proposed development. Should the property be developed as an affordable rental housing project as represented by the applicant, this additional parking requirement shall be 1.5 parking spaces per multiple family residential unit developed. Landscaping shall also be indicated on the plans for the purpose of mitigating any adverse noise or visual impacts to adjacent properties in accordance with the requirements of Planning Department's Rule No. 17 (Landscaping Requirements). The applicant shall comply with landscaping requirements for RM zoning.

Response:

Please refer to the summary letter above. Regarding construction completion, the project will be requesting an extension for Condition D only. We're approaching the deadline, which is 5 years from the date of the ordinance, March 2021.

Regarding the parking requirement, the project plans have been reviewed and approved by all departments. The parking requirements are on page T01.0 of the plans. The project exceeds 1.5 spaces per unit (117 spaces provided for 64 units). A **link provided below to access the fully approved plans.**

Condition E

The applicant shall subdivide and dedicate to the County a ten (10)-foot wide future road widening strip along the entire Kapi'olani Street frontage of Parcel 53, ~~(prior to Final Subdivision Approval for the lot consolidation described in Condition D)~~ within twelve (12) months from the effective date of this amended ordinance.

Response:

Attached as Exhibit E is confirmation of the subdivision for a ten-foot wide future road widening strip along Kapi'olani street, including a dedication deed and legal description prepared by a licensed surveyor for the County of Hawaii. The exhibit includes the approved ALTA survey with the updates. The link below includes also the approved civil/architectural.

- Subdivision approval letter
- Dedication deed for 10-ft road widening strip
- Lot consolidation
- ALTA survey

Condition F

Access at Kapi'olani Street shall be limited to right-turn in and right-turn out movements



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only.

Response:

This requirement has been incorporated into the plans. Page C-02.12 of the plans has the information for the "No Left Turn" and "Right Turn Only" signage. Please use the **link provided below to access the fully approved plans**.

Condition G

All driveway connections to Kukuau Street and Kapi'olani Street shall conform to Chapter 22, County Streets, of the Hawai'i County Code.

Response:

The Department of Public Works (DPW) reviewed and approved the civil plans. The approval signature is on Sheet C00.0 and is dated 11/10/2022. The civil pages also specify the exact codes and standards that have been designed and built to. Please use the **link provided below to access the fully approved plans**.

Condition H

All development-generated runoff shall be disposed of on site and shall not be directed toward any adjacent properties. A drainage study shall be prepared and submitted to the Department of Public Works prior to the issuance of Final Plan Approval. Any drainage improvements, if required, shall be constructed, meeting the approval of the Department of Public Works prior to the issuance of a Certificate of Occupancy.

Response:

Exhibit 5 includes the drainage study prepared, submitted, and approved by the Department of Public Works. The study was used and incorporated into the civil plans which have been fully reviewed and approved by DPW. Please use the **link provided below to access the fully approved plans**. The approved civil plans start on page C00.0.

DPW required improvements to the existing drainage easement on the site, and requested a new easement for the neighbor, which we facilitated. The easements are signed, and sitting in an escrow account awaiting the financial closing/transfer.

- Drainage easement 253-254 updates existing drainage plans throughout the middle of our site
- Drainage easement between County of Hawaii and our neighbor was



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required to add a drainage culvert and improve maintenance access

Condition I

All earthwork activity, including grading and grubbing, shall conform to Chapter 10, Erosion and Sedimentation Control, of the Hawai'i County Code.

Response:

All Earthwork activity, including grading and grubbing, has conformed to Chapter 10 of the HCC. The Department of Public Works (DPW) has reviewed and approved the grading plans. The approval signature from the County is on Sheet C00.0 and is dated 11/10/2022. It states the work conforms to Chapter 10. Please use the **link provided below to access the fully approved plans**. SHPD has also reviewed the project and determined that no further action is required.

Condition J

The project shall connect to the existing County sewer line prior to the issuance of a Certificate of Occupancy. [If.] As required by the Director of the Department of Environmental Management ("DEM"), the applicant shall conduct a sewer study in accordance with the then applicable wastewater system design standards prior to approval to connect to the County sewer system. The Applicant shall provide such sewer line or other facility improvements as the Director of DEM may reasonably require, which the sewer study may indicate are advisable for mitigation of impacts of the proposed project.

Response:

Sewer study/improvements and sewer connections – Civil plans and supporting wastewater generation calculations were reviewed and approved by the DEM for the connection to the County Sewer system. The original approval of the civil plans by the DEM was dated 5/3/2022 and included in the link below. Unlike other County agencies, the DEM approval signature is on all civil sheets with sewer design elements, in this set that is a total of (9 civil sheets, (C00.0; C00.5; C00.6; C02.4; C02.5; C04.5; C04.6; C05.2; C05.3)). However, the DEM required a re-approval of the plans when the grease trap was added to the Community Center Building. Therefore, the current DEM approval signature on all of the above-noted sheets is dated 8/9/2023.



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Condition K

A Solid Waste Management Plan shall be submitted to the Department of Environmental Management for review and approval prior to the issuance of Final Plan Approval.

Response:

Our Solid Waste Management plan from Imata & Associates was reviewed and approved by DEM. A confirmation letter from the department is attached as Exhibit K. The approved plans which incorporate these changes are included in the link below.

Condition L

~~[Should any remains of historic sites, such as rock walls, terraces, platforms, marine shell concentrations or human burials, be encountered, work in the immediate area shall cease and the Department of Land and Natural Resources State Historic Preservation Division (DLNR-SHPD) shall be immediately notified. Subsequent work shall proceed upon an archaeological clearance from DLNR-SHPD when it finds that sufficient mitigative measures have been taken.]~~ In the unlikely event that surface or subsurface historic resources, including human skeletal remains, structural remains (e.g. rock walls, terraces, platforms, etc.), cultural deposits, marine shell concentrations, sand deposits, or sink holes are identified during the demolition and/or construction work, cease work in the immediate vicinity of the find, protect the find from additional disturbance and contact the State Historic Preservation Division at (808) 933-7651. Subsequent work shall proceed upon an archaeological clearance from DLNR-SHPD when it finds that sufficient mitigation measures have been taken.

Response:

SHPD – SHPD has reviewed the project and determined that no further action is required, see Exhibit L attached. If during the course of construction any remains of historic sites, such as rock walls, terraces, platforms, marine shell concentrations or human burials, are encountered, work in the immediate area will cease and the DLNR-SHPD will be immediately notified. Subsequent work will proceed upon clearance from DLNR-SHPD.

EA/106 consultation – Completed, please see attached. This site required an updated EA and 106 consultation for cultural excavation. The EA file could not be included due to file size, and can be found with this link:
<https://www.dropbox.com/s/2tuhgthub1tr3kh/Kaiaulu%20O%20Kapiolani%20EA%20FINAL%202022.pdf?dl=0>



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Condition M

Should the property be developed as an affordable rental housing project as represented by the applicant, no fair share contribution shall be required. Should the project not be developed as an affordable rental housing project as represented by the applicant, [+]he applicant shall make its fair share contribution to mitigate the potential regional impacts of the property with respect to parks and recreation, fire, police, solid waste disposal facilities and roads. The fair share contribution shall become due and payable prior to receipt of Final Plan Approval or Final Subdivision Approval. The fair share contribution for each lot or unit shall be based on the actual number of residential units developed. The fair share contribution in a form of cash, land, facilities or any combination thereof shall be determined by the County Council. The fair share contribution may be adjusted annually beginning three years after the effective date of this ordinance, based on the percentage change in the Honolulu Consumer Price Index (HCP!). The fair share contribution shall have a combined value of \$[7,098.11] **9,645.17** per multiple family residential unit (\$[11,996.63] **15,030.92** per single family residential unit). The total amount shall be determined with the actual number of units according to the calculation and payment provisions set forth in this condition.

The fair share contribution per multiple family residential unit (single family residential unit) shall be allocated as follows:

1. \$[3,797.26] **4,757.69** per multiple family residential unit (\$[5,784.99] **7,248.17** per single family residential unit) to the County to support park and recreational improvements and facilities;
2. \$[120.04] **150.37** per multiple family residential unit (\$[279.07] **349.65** per single family residential unit) to the County to support police facilities ;
3. \$[369.17] **462.54** per multiple family residential unit (\$[551.20] **690.61** per single family residential unit) to the County to support fire facilities ;
4. \$[164.54] **206.16** per multiple family residential unit (\$[241.32] **302.36** per single family residential unit) to the County to support solid waste facilities; and
5. \$[3,247.12] **4,068.41** per multiple family residential unit (\$[5,140.06] **6,440.12** per single family residential unit) to the County to support road and traffic improvements.

In lieu of paying the fair share contribution, the applicant may contribute land and/or construct improvements/facilities related to parks and recreation, fire, police, solid waste disposal facilities and roads within the region impacted by the proposed development, subject to the review and recommendation of the Planning Director, upon consultation with the appropriate agencies and approval of the County Council. This condition shall not apply to any housing units constructed within the subject properties to meet the



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affordable housing requirement in Chapter 11 (Housing), Section 11-4(b), Hawai'i County Code, and so certified by the County Office of Housing and Community Development, excluding any units constructed for excess housing credits.

Response:

The applicant submitted a letter to Planning and OHCD, as required, stating that we will be accepting the fair share exemption relating to Condition M of the zoning ordinance and not the excess housing credits for the project, which is part of the Affordable Housing Agreement. See attached as Exhibit M. The project subsequently received final plan approval. The fee was waived because this project is 100% affordable rental housing and will not be accepting the excess housing credits as required.

Condition N

To ensure that the goals and policies of the Housing Element of the General Plan are implemented, the applicant shall comply with the requirements of Chapter 11, Article 1, Hawai'i County Code relating to the Affordable Housing Policy. Compliance with Chapter 11 shall be approved by the Administrator of the Office of Housing and Community Development prior to receipt of Final Plan Approval and/or Final Subdivision Approval.

Response:

The project has complied with Chapter 11 of the HCC relating to Affordable Housing Policy. The applicant finalized and signed an affordable housing agreement with the County of Hawaii (OHCD.) The fully executed affordable housing agreement is signed and sitting in an escrow account, pending the financial closing. Please see attached a copy as Exhibit N.

Condition O

Should the property be developed as an affordable rental housing project as represented by the applicant, the Unified Impact Fees Ordinance, if adopted shall not be required. Should the Project not be developed as an affordable rental housing project as represented by the applicant and should the Council adopt a Unified Impact Fees Ordinance setting forth criteria for the imposition of exactions or the assessment of impact fees, conditions included herein shall be credited towards the requirements of the Unified Impact Fees Ordinance.



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Response:

The applicant is still developing a 100% affordable rental housing project. There are existing financial commitments from investors, lenders, the County and State of Hawaii. The applicant understands that entitlement requirements change for non-affordable housing developers.

Condition P

The applicant shall comply with all applicable County, State and Federal laws, rules, regulations and requirements.

Response:

The applicant will comply with all applicable County, State and Federal laws, rules, regulations and requirements.

Condition Q

An annual progress report shall be submitted to the Planning Director prior to the anniversary date of enactment of [the] this amended ordinance. The report shall include, but not be limited to, the status of the development and to what extent the conditions of approval are being complied with. This condition shall remain in effect until all of the conditions of approval have been complied with and the Planning Director acknowledges that further reports are not required.

Response:

Please accept this enclosed letter and attachments as the annual progress report for the project.

Condition R

An initial extension of time for the performance of conditions within the ordinance may be granted by the Planning Director upon the following circumstances:

- 1. The non performance is the result of conditions that could not have been foreseen or are beyond the control of the applicant, successors or assigns, and that are not the result of their fault or negligence.*
- 2. Granting of the time extension would not be contrary to the General Plan or Zoning Code.*
- 3. Granting of the time extension would not be contrary to the original reasons for the granting of the change of zone.*



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4. The time extension granted shall be for a period not to exceed the period originally granted for performance (i.e., a condition to be performed within one year may be extended for up to one additional year).

5. If the applicant should require an additional extension of time, the Planning Director shall submit the applicant's request to the County Council for appropriate action.

Response:

The project is approaching the construction completion deadline required under Condition D, and it will be requesting an extension. All other conditions have been followed and completed.

See attached Exhibits:

- A. Copy of amendment to change of ordinance No. 10 32
- B. DWS receipt showing annual water commitment deposits
- C. Approved reduced pressure backflow preventer plans
- E1. Subdivision approval letter and plans
- E2. Dedication deed for the 10-foot road widening strip dedicated to the County
- E3. Affidavit and revised final plat map for the consolidation and subdivision
- E4. ALTA survey prepared by licensed surveyor
- H. Approved offsite drainage report
- K. Approved solid waste management plan
- L. SHPD letter for the project
- M. Fair share exemption letter
- N. Affordable housing agreement with the Office of Housing (OHCD)

Please use the link below to access the **approved construction plans** referenced in the conditions above: <https://drive.google.com/drive/folders/1-3s6rtfuQsPJFnuXULh2C2xAxhYbzsuS?usp=sharing>

Thank you,

Grant Bigley



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Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Grant Bigley
Vice President
Ikaika Ohana
gbigley@uhcllc.net
714-873-5687

cc: Douglas Bigley
President
Ikaika Ohana
dbigley@uhcllc.net



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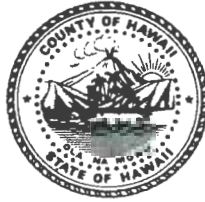
Exhibit A

Copy of amendment to change of ordinance No. 10 32

Mitchell D. Roth
Mayor

Lee E. Lord
Managing Director

West Hawai'i Office
74-5044 Ane Keohokālole Hwy
Kailua-Kona, Hawai'i 96740
Phone (808) 323-4770
Fax (808) 327-3563



County of Hawai'i
PLANNING DEPARTMENT

Zendo Kern
Director

Jeffrey W. Darrow
Deputy Director

East Hawai'i Office
101 Pauahi Street, Suite 3
Hilo, Hawai'i 96720
Phone (808) 961-8288
Fax (808) 961-8742

March 9, 2021



Mr. James Rock
UHC H4, LLC
2000 E. Fourth Street, Suite 205
Santa Ana, CA 92705

Dear Mr. Rock:

SUBJECT: Amendment to Change of Zone Ordinance No. 10 32 (REZ 09-000103)
Applicant: Ikaika Ohana (formerly Giampaolo Paul Boschetti)
Request: Amendment to Conditions E (Time to Complete Construction),
Condition G (Time to Dedicate Road Widening Strip), Condition J
(Requirement to Install Streetlights and Traffic Control Devices),
Condition P (Fair Share Requirements), and Condition R (Impact
Fees)
Tax Map Key: 2-4-025:048, 053, and 080

For your information, we are attaching Ordinance No. 21 17, effective March 1, 2021, amending the County Zoning Code, an ordinance amending Ordinance No. 10 32 at Kūkūau 1st, South Hilo, Hawai'i.

Sincerely,


ZENDO KERN
Planning Director

LikaikaOhanaREZ09-103ord
Atts.

cc/att: Douglas Bigley, Ikaika Ohana ✓
Real Property Tax Office
Department of Public Works
Department of Water Supply
Department of Environmental Management
Office of Housing and Community Development
Plan Approval Section
Subdivision Section

COUNTY OF HAWAI'I



STATE OF HAWAI'I

ORDINANCE NO. **21 17** BILL NO. 6

AN ORDINANCE AMENDING ORDINANCE NO. 10 32 WHICH RECLASSIFIED LANDS BY CHANGING THE DISTRICT CLASSIFICATION FOR SINGLE-FAMILY RESIDENTIAL – 1,000 SQUARE FEET (RS-7.5) AND MULTIPLE-FAMILY RESIDENTIAL – 1,000 SQUARE FEET (RM-1) TO MULTIPLE-FAMILY RESIDENTIAL – 1,500 SQUARE FEET (RM-1.5) AT KŪKŪAU 1ST, SOUTH HILO, HAWAI'I, COVERED BY TAX MAP KEY: 2-4-025:048, 053 AND 080.

BE IT ORDAINED BY THE COUNCIL OF THE COUNTY OF HAWAI'I:

SECTION 1. Section 2 of Ordinance No. 10 32 is amended as follows:

“SECTION 2. In accordance with Section 25-2-44, Hawai'i County Code 1983 [~~(2005 Edition)~~] (2016 Edition, as amended), the County Council finds the following conditions are:

- (1) Necessary to prevent circumstances which may be adverse to the public health, safety and welfare; or
 - (2) Reasonably conceived to fulfill needs directly emanating from the land use proposed with respect to:
 - (A) Protection of the public from the potentially deleterious effects of the proposed use, or
 - (B) Fulfillment of the need for public service demands created by the proposed use.
- A. The applicant(s), its successors or assigns shall be responsible for complying with all of the stated conditions of approval.

B. Prior to the issuance of a water commitment by the Department of Water Supply (“DWS”), the applicant shall submit the anticipated maximum daily water usage calculations ~~[as recommended by a registered engineer, and a water commitment deposit in accordance with the “Water Commitment Guidelines Policy” to the Department of Water Supply within one hundred and eighty days from the effective date of this ordinance.]~~ as prepared by a professional engineer licensed in the State of Hawai‘i to the DWS. A water commitment deposit shall be paid to the DWS within 180 days from the effective date of this ordinance in accordance with Rule 5 of the Department of Water Supply’s Rules and Regulations. The applicant is responsible for maintaining valid water commitments to support the proposed use until such time that required water facilities charges are paid in full.

C. The applicant[s] shall install a reduced pressure type backflow prevention assembly within five (5) feet of the water meter on private property, which must be inspected and approved by the Department of Water Supply prior to the issuance of a Certificate of Occupancy.

~~[D. — The applicant shall secure Final Subdivision Approval to consolidate tax map key numbers 2-4-25:48, 2-4-25:53 and 2-4-25:80 within two (2) years from the effective date of this ordinance.]~~

~~[E.]~~ D. Construction of the proposed development shall be completed within five (5) years from the effective date of this amended ordinance. Prior to construction, the applicant, successors or assigns shall secure Final Plan Approval for the proposed development from the Planning Director in accordance with Section 25-2-70, Chapter 25 (Zoning Code), Hawai‘i County Code. Plans shall identify all existing and/or proposed structures, paved driveway accesses and parking stalls associated with the proposed development. The applicant shall develop parking spaces associated with the proposed development in accordance with the required parking spaces pursuant to Sections 25-4-51 and 25-4-52, Chapter 25 (Zoning Code), Hawai‘i County Code. In addition, the applicant shall develop

additional parking spaces up to a maximum of 60% of the required spaces for the total residential units to be built within the proposed development. Should the property be developed as an affordable rental housing project as represented by the applicant, this additional parking requirement shall be 1.5 parking spaces per multiple family residential unit developed. Landscaping shall also be indicated on the plans for the purpose of mitigating any adverse noise or visual impacts to adjacent properties in accordance with the requirements of Planning Department's Rule No. 17 (Landscaping Requirements). The applicant shall comply with landscaping requirements for RM zoning.

~~[F. The applicant shall grant drainage easement(s) through the subject properties to the County of Hawai'i. The easement(s) shall be granted and shall meet with the approval of the Department of Public Works.]~~

[G.] E. The applicant shall subdivide and dedicate to the County a ten (10)-foot wide future road widening strip along the entire Kapi'olani Street frontage of Parcel 53, ~~[prior to Final Subdivision Approval for the lot consolidation described in Condition D]~~ within twelve (12) months from the effective date of this amended ordinance.

[H.] F. Access at Kapi'olani Street shall be limited to right-turn in and right-turn out movements only.

[I.] G. All driveway connections to Kūkūau Street and Kapi'olani Street shall conform to Chapter 22, County Streets, of the Hawai'i County Code.

~~[J. Streetlights and traffic control devices, as may be required by the Traffic Division, Department of Public Works, shall be installed by the applicant.]~~

[K.] H. All development-generated runoff shall be disposed of on site and shall not be directed toward any adjacent properties. A drainage study shall be prepared and submitted to the Department of Public Works prior to the issuance of Final Plan Approval. Any drainage

improvements, if required, shall be constructed, meeting the approval of the Department of Public Works prior to the issuance of a Certificate of Occupancy.

- [L:] I. All earthwork activity, including grading and grubbing, shall conform to Chapter 10, Erosion and Sedimentation Control, of the Hawai'i County Code.
- [M:] J. The project shall connect to the existing County sewer line prior to the issuance of a Certificate of Occupancy. [H:] As required by the Director of the Department of Environmental Management ("DEM"), the applicant shall conduct a sewer study in accordance with the then applicable wastewater system design standards prior to approval to connect to the County sewer system. The [A]applicant shall provide such sewer line or other facility improvements as the Director of DEM may reasonably require, which the sewer study may indicate are advisable for mitigation of impacts of the proposed project.
- [N:] K. A Solid Waste Management Plan shall be submitted to the Department of Environmental Management for review and approval prior to the issuance of Final Plan Approval.
- [O:] L. ~~[Should any remains of historic sites, such as rock walls, terraces, platforms, marine shell concentrations or human burials, be encountered, work in the immediate area shall cease and the Department of Land and Natural Resources – State Historic Preservation Division (DLNR-SHPD) shall be immediately notified. Subsequent work shall proceed upon an archaeological clearance from DLNR-SHPD when it finds that sufficient mitigative measures have been taken.]~~ In the unlikely event that surface or subsurface historic resources, including human skeletal remains, structural remains (e.g. rock walls, terraces, platforms, etc.), cultural deposits, marine shell concentrations, sand deposits, or sink holes are identified during the demolition and/or construction work, cease work in the immediate vicinity of the find, protect the find from additional disturbance and contact the State Historic Preservation Division at (808) 933-7651. Subsequent work shall proceed upon an archaeological clearance from DLNR-SHPD when it finds that sufficient mitigation measures have been taken.

[P-] M. Should the property be developed as an affordable rental housing project as represented by the applicant, no fair share contribution shall be required. Should the project not be developed as an affordable rental housing project as represented by the applicant, [F]the applicant shall make its fair share contribution to mitigate the potential regional impacts of the property with respect to parks and recreation, fire, police, solid waste disposal facilities and roads. The fair share contribution shall become due and payable prior to receipt of Final Plan Approval or Final Subdivision Approval. The fair share contribution for each lot or unit shall be based on the actual number of residential units developed. The fair share contribution in a form of cash, land, facilities or any combination thereof shall be determined by the County Council. The fair share contribution may be adjusted annually beginning three years after the effective date of this ordinance, based on the percentage change in the Honolulu Consumer Price Index (HCPI). The fair share contribution shall have a combined value of ~~[\$7,698.11]~~9,645.17 per multiple family residential unit (~~[\$11,996.63]~~15,030.92 per single family residential unit). The total amount shall be determined with the actual number of units according to the calculation and payment provisions set forth in this condition.

The fair share contribution per multiple family residential unit (single family residential unit) shall be allocated as follows:

1. ~~[\$3,797.26]~~4,757.69 per multiple family residential unit (~~[\$5,784.99]~~7,248.17 per single family residential unit) to the County to support park and recreational improvements and facilities;
2. ~~[\$120.01]~~150.37 per multiple family residential unit (~~[\$279.07]~~349.65 per single family residential unit) to the County to support police facilities;
3. ~~[\$369.17]~~462.54 per multiple family residential unit (~~[\$551.20]~~690.61 per single family residential unit) to the County to support fire facilities;

4. ~~\$(164.54)~~206.16 per multiple family residential unit (~~\$(241.32)~~302.36 per single family residential unit) to the County to support solid waste facilities; and
5. ~~\$(3,247.12)~~4,068.41 per multiple family residential unit (~~\$(5,140.06)~~6,440.12 per single family residential unit) to the County to support road and traffic improvements.

In lieu of paying the fair share contribution, the applicant may contribute land and/or construct improvements/facilities related to parks and recreation, fire, police, solid waste disposal facilities and roads within the region impacted by the proposed development, subject to the review and recommendation of the Planning Director, upon consultation with the appropriate agencies and approval of the County Council. This condition shall not apply to any housing units constructed within the subject properties to meet the affordable housing requirement in Chapter 11 (Housing), Section 11-4(b), Hawai'i County Code, and so certified by the County Office of Housing and Community Development, excluding any units constructed for excess housing credits.

[Q:] N. To ensure that the goals and policies of the Housing Element of the General Plan are implemented, the applicant shall comply with the requirements of Chapter 11, Article 1, Hawai'i County Code relating to the Affordable Housing Policy. Compliance with Chapter 11 shall be approved by the Administrator of the Office of Housing and Community Development prior to receipt of Final Plan Approval and/or Final Subdivision Approval.

[R:] O. Should the property be developed as an affordable rental housing project as represented by the applicant, the Unified Impact Fees Ordinance, if adopted shall not be required.
Should the Project not be developed as an affordable rental housing project as represented by the applicant and [S]should the Council adopt a Unified Impact Fees Ordinance setting forth criteria for the imposition of exactions or the assessment of

impact fees, conditions included herein shall be credited towards the requirements of the Unified Impact Fees Ordinance.

- [S.] P. The applicant shall comply with all applicable County, State and Federal laws, rules, regulations and requirements.
- [T.] Q. An annual progress report shall be submitted to the Planning Director prior to the anniversary date of enactment of ~~[the]~~ this amended ordinance. The report shall include, but not be limited to, the status of the development and to what extent the conditions of approval are being complied with. This condition shall remain in effect until all of the conditions of approval have been complied with and the Planning Director acknowledges that further reports are not required.
- [U.] R. ~~[An initial extension of time for the performance of conditions within the ordinance may be granted by the Planning Director upon the following circumstances:~~
- ~~1. — The non performance is the result of conditions that could not have been foreseen or are beyond the control of the applicant, successors or assigns, and that are not the result of their fault or negligence.~~
 - ~~2. — Granting of the time extension would not be contrary to the General Plan or Zoning Code.~~
 - ~~3. — Granting of the time extension would not be contrary to the original reasons for the granting of the change of zone.~~
 - ~~4. — The time extension granted shall be for a period not to exceed the period originally granted for performance (i.e., a condition to be performed within one year may be extended for up to one additional year).~~

5.] If the applicant should require an additional extension of time, the Planning Director shall submit the applicant's request to the County Council for appropriate action.

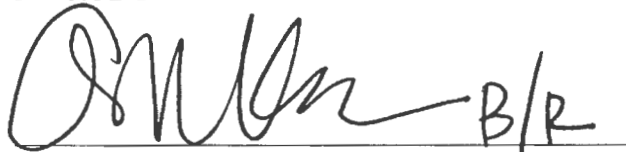
Should any of the conditions not be met or substantially complied with in a timely fashion, the Planning Director may initiate rezoning of the area to its original or more appropriate designation.

SECTION 2. Material to be deleted is bracketed and stricken. New material is underscored.

SECTION 3. Severability. If any provision of this ordinance, or the application thereof to any person or circumstance, is held invalid, the invalidity does not affect other provisions or applications of the ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are severable.

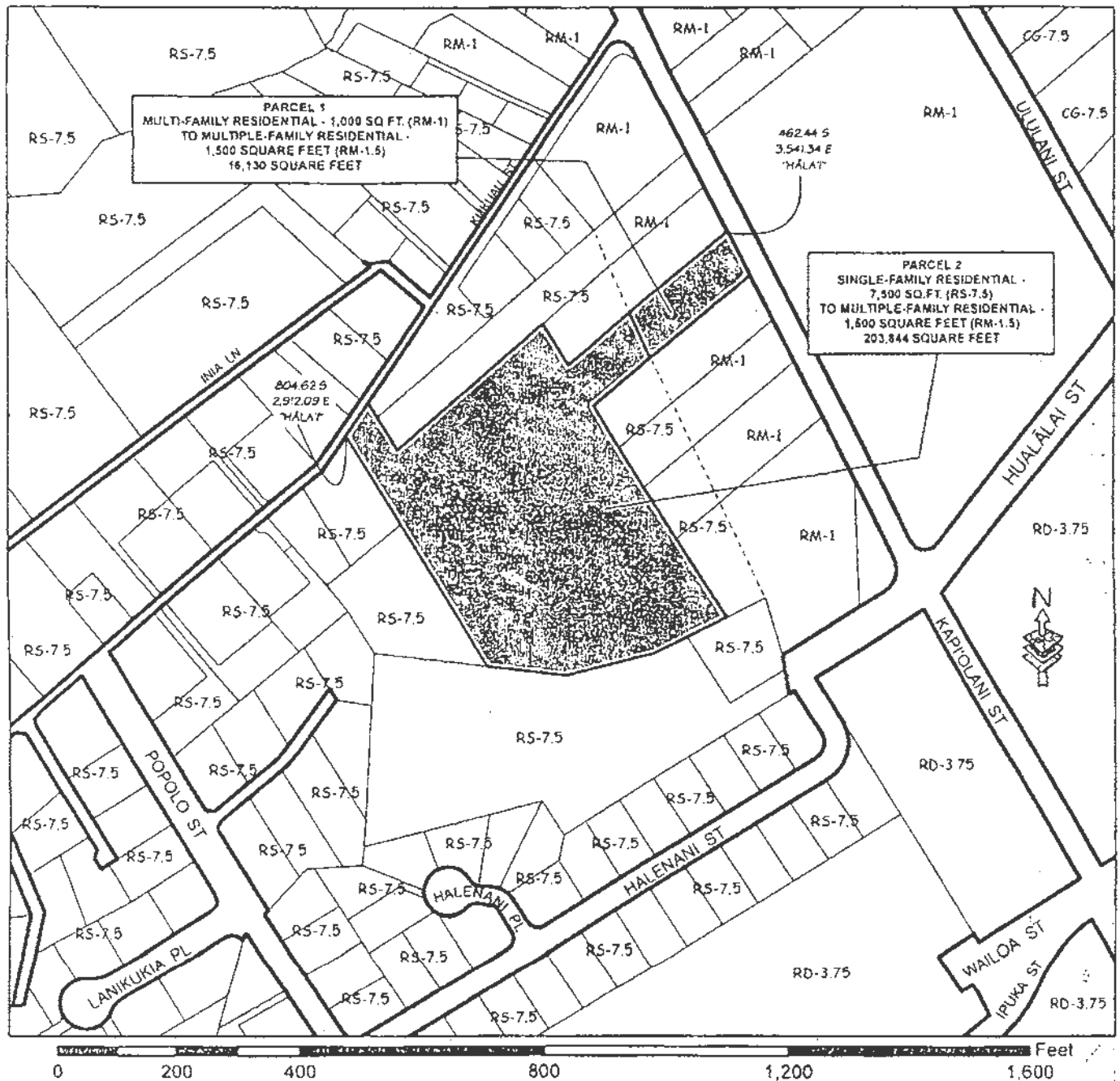
SECTION 4. This ordinance shall take effect upon its approval.

INTRODUCED BY:


COUNCIL MEMBER, COUNTY OF HAWAII

Kona, Hawai'i
Date of Introduction: January 20, 2021
Date of 1st Reading: January 20, 2021
Date of 2nd Reading: February 17, 2021
Effective Date: March 1, 2021

REFERENCE Comm. 18



AMENDMENT TO THE ZONING CODE

AMENDING SECTION 25-8-33 (CITY OF HILO ZONE MAP) ARTICLE 8,
CHAPTER 25 (ZONING CODE) OF THE HAWAII COUNTY CODE 1983 (2005 EDITION),
BY CHANGING THE DISTRICT CLASSIFICATION FROM SINGLE-FAMILY RESIDENTIAL - 7,500
SQUARE FEET (RS-7.5) AND MULTIPLE-FAMILY RESIDENTIAL - 1,000 SQUARE FEET (RM-1)
TO MULTIPLE-FAMILY RESIDENTIAL - 1,500 SQUARE FEET (RM-1.5)
AT KUKUAU 1ST, SOUTH HILO, HAWAII

FOR REFERENCE ONLY

MAP PREPARED BY:
COUNTY OF HAWAII, PLANNING DEPARTMENT

OFFICE OF THE COUNTY CLERK
County of Hawai'i
Kona, Hawai'i

COUNTY OF HAWAII
CLERK OF THE COURT
JANUARY 29, 2021

Introduced By: Ashley L. Kierkiewicz (B/R)
Date Introduced: January 20, 2021
First Reading: January 20, 2021
Published: January 29, 2021

REMARKS: Postponed: February 3, 2021

Second Reading: February 17, 2021
To Mayor: February 25, 2021
Returned: March 1, 2021
Effective: March 1, 2021
Published: March 19, 2021

REMARKS:

ROLL CALL VOTE				
	AYES	NOES	ABS	EX
Chung	X			
David	X			
Inaba	X			
Kāneʻaliʻi-Kleinfelder	X			
Kierkiewicz	X			
Kimball	X			
Lee Loy	X			
Richards	X			
Villegas	X			
	9	0	0	0

ROLL CALL VOTE				
	AYES	NOES	ABS	EX
Chung	X			
David	X			
Inaba	X			
Kāneʻaliʻi-Kleinfelder	X			
Kierkiewicz	X			
Kimball	X			
Lee Loy	X			
Richards	X			
Villegas	X			
	9	0	0	0

I DO HEREBY CERTIFY that the foregoing BILL was adopted by the County Council published as indicated above.


COUNCIL CHAIRPERSON

Approved/Disapproved this 1st day
of March, 2021


COUNTY CLERK

Acting Lee E. Ford
MAYOR, COUNTY OF HAWAII

Bill No.: 6
Reference: C-18/PC-1
Ord No.: 21 17



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Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit B

DWS receipt showing annual water commitment deposits



DEPARTMENT OF WATER SUPPLY • COUNTY OF HAWAI'I

345 KEKŪANAŌ'A STREET, SUITE 20 • HILO, HAWAI'I 96720

TELEPHONE (808) 961-8050 • FAX (808) 961-8657

February 19, 2025

Mr. Douglas Bigley
Ikaika 'Ohana
2610 Pacific Heights Road
Honolulu, HI 96813

Dear Mr. Bigley:

Subject: Water Commitment Time Extension for Change of Zone Ordinance No. 10-32
Owner - Giampaolo ("Paul") Boschetti
Applicant - Ikaika Ohana
Tax Map Key 2-4-025:048, 053 and 080

This is to acknowledge receipt of the required \$10,950.00 water commitment deposit for the subject application. We are enclosing Receipt No. 5730088 for your records.

Pursuant to Rule 5 of the Department's Rules and Regulations, a water commitment in the amount of 29,200 gallons per day, or 73 additional units of water at an average of 400 gallons per day, per unit, is hereby granted until January 31, 2026, with the following conditions:

1. Construct necessary minimum water system improvements, which shall include, but not be limited to:
 - a. installation of a 4-inch service lateral to accommodate a 3-inch meter,
 - b. installation of a detector check meter for on-site fire protection use,
 - c. installation of a reduced pressure type backflow prevention assembly within five (5) feet of the meter on private property, the installation of which must be inspected and approved by the Department before water service can be activated, and
 - d. subject to other agencies' requirements to construct improvements within the road right-of-way fronting the property affected by the proposed development, the applicant shall be responsible for the relocation and adjustment of the Department's affected water system facilities, should they be necessary.

... Water, Our Most Precious Resource ... Ka Wai A Kāne ...

The Department of Water Supply is an Equal Opportunity provider and employer.

Submit construction plans and design calculations prepared by a professional engineer registered in the State of Hawai'i, for review and approval.

2. Remit the prevailing facilities charge, which is subject to change, as shown below:

FACILITIES CHARGE (FC):

1st service	\$1,319.00
73 additional units @ \$6,095.00/unit	\$444,935.00
Total FC	\$446,254.00

WATER COMMITMENT DEPOSIT CREDIT (WCD):

97 additional units @ \$150.00/unit paid, three times	(\$43,650.00)
73 additional units @ \$150.00/unit paid, ten times	(\$109,500.00)
Total Amount	\$293,104.00

These are due and payable upon completion of the installation of the required water system improvements and prior to water service being granted.

For your information, water commitment deposits are credited towards the final facilities requirement for the development. Note that the amount of water commitment deposit may exceed the prevailing facilities charge amount; for example, when requests for time extensions continue and are approved. Until the development is finally completed, these are separate and unrelated items. In the event that water commitment deposits exceed the facilities charge, no refunds are applicable.

3. Should it be necessary, submit the appropriate documents, properly prepared and executed, to convey the water system improvements and necessary easements to the Water Board of the County of Hawai'i prior to final subdivision approval being granted. A registered land surveyor shall stamp and certify the metes and bounds description within the conveyance documents. However, prior to water meter services being granted to the development, or any lots within, the conveyance documents shall be accepted by the Water Board.
4. Comply with all other applicable policies and requirements of the Department's Rules and Regulations. Noncompliance may be cause for voiding this water commitment, at which time availability will be subject to change in accordance with prevailing water system conditions, policies, and Rules and Regulations.

Mr. Douglas Bigley
Page 3
February 19, 2025

Should there be any questions, please contact Mr. Ryan Quitoriano of our Water Resources and Planning Branch at (808) 961-8070, extension 256.

Sincerely yours,


f
Keith K. Okamoto, P.E.
Manager-Chief Engineer

RQ:dfg

Enc.

copy - Planning Department
Carlsmith Ball LLP

DEPT OF WATER SUPPLY
COUNTY OF HAWAII

JK02-14

02-14-2025 09:43

Receipt: 5730088

2-4-025-048; REZ009-0103; GIAMPAOLO
BOSCHETTI

NEW CHARGES
WATER COMMITMENT DEP 10950.00

TOTAL: 10950.00

PAYMENTS
CHECK 10950.00

1074 TOTAL: 10950.00

TENDERED: 10950.00
APPLIED: 10950.00

CHANGE DUE: 0.00
BALANCE 0.00

THANK YOU!
RETAIN THIS RECEIPT

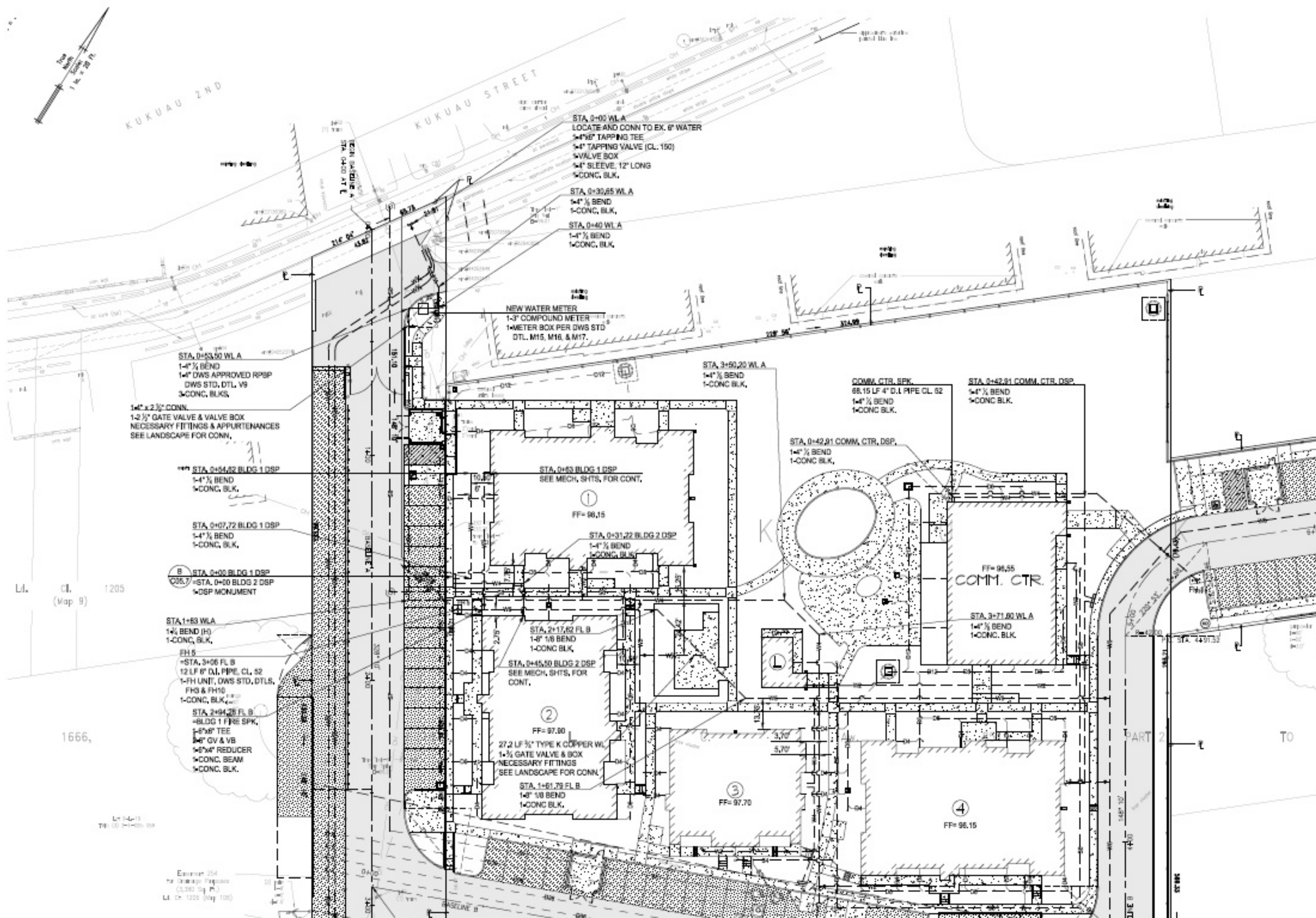


2610 Pacific Heights Road • Honolulu, Hawaii 96813 • (808) 829-1426
Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit C

Approved reduced pressure backflow preventer plans

Z:\Users\Monty\1 PROJECTS\030524\01 Design\Partners Inc. - 19-19 Kapiolani O Kapiolani\01 Current\K Kapiolani O Kapiolani.dwg, 8/25/2022 2:20:26 PM



- NOTES:
1. ALL WATER SYSTEM PIPELINES, 4" INCHES OR LARGER IN DIAMETER, SHALL BE DUCTILE IRON, CLASS 52, AND ALL PIPELINES SMALLER THAN 4" INCHES IN DIAMETER SHALL BE TYPE "K" COPPER.
 2. ALL PIPE VALVES, FITTINGS AND REDUCERS 4" AND LARGER SHALL USE MEGALUGS.
 3. SEE PROFILE SHEETS FOR WATER LINE PROFILES.

ABBREVIATIONS:
SPK FIRE SPRINKLER
DSP DRY STANDPIPE

AREA 1 - ENLARGED UTILITY LAYOUT PLAN: WATER

SCALE: 1 IN. = 20 FT.

Design Partners Incorporated
Architecture Planning Interiors

DAVID T. IMATA
U.S. E.C. PROFESSIONAL ENGINEER
No. 8708-C
HAWAII, U.S.A.

Signature: [Signature]
April 30, 2024
Expiration Date of License

This work was prepared by me or under my supervision and completion of this project will be under my observation.

Revision Number/Description

Kaialu O Kapiolani
A0705 Hilo LP
RESIDENCE BUILDING
TMK: 2-4-025:048

Project Name		
Drawing Title		
AREA 1 - ENLARGED UTILITY LAYOUT PLAN: WATER		
Project Number	Date	
18056	08/25/2022	
Drawn	Checked	Designed
JKO	DTI	DTI
Drawing Number		
C02.9		
Sheet No. X of X		



2610 Pacific Heights Road • Honolulu, Hawaii 96813 • (808) 829-1426
Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit E

- E1. Subdivision approval letter and plans
 - E2. Dedication deed for the 10-foot road widening strip dedicated to the County
 - E3. Affidavit and revised final plat map for the consolidation and subdivision
 - E4. ALTA survey prepared by licensed surveyor
-

William P. Kenoi
Mayor



Duane Kanuha
Director

Bobby Command
Deputy Director

West Hawai'i Office
74-5044 Ane Keohokalole Hwy
Kailua-Kona, Hawai'i 96740
Phone (808) 323-4770
Fax (808) 327-3563

County of Hawai'i
PLANNING DEPARTMENT

East Hawai'i Office
101 Pauahi Street, Suite 3
Hilo, Hawai'i 96720
Phone (808) 961-8288
Fax (808) 961-8742

January 28, 2015

Steven S.C. Lim, Esq.
Carlsmith Ball, LLP
A Limited Liability Law Partnership
PO Box 686
Hilo, HI 96721-0686

Dear Mr. Lim:

REVISED FINAL PLAT MAP

APPLICANT: BOSCHETTI, Giampaolo

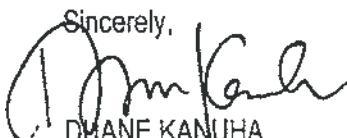
Consolidation of Lot 169 as shown on Map 72,
And Lots 9-L-6, 9-L-14 & 9-L-15 as shown on Map 9,
Land Court Application 1205,
Into Lot 169-A,
Kūkūau 1st, South Hilo, Island of Hawai'i, Hawai'i
TMK: 2-4-025:048, 053 & 080 (Final Consolidation Approval No. CON-14-000267)

This is to acknowledge receipt of ten (10) copies of the revised final plat map dated January 2, 2015, and one (1) CAD File of revised final plat for the referenced consolidation application. The revised final plat map creates road widening purposes Lot 9-L-6-A for dedication to the County in compliance with Rezoning Ordinance No. 10 032.

Please be advised that we have certified the revised final plat map of which four (4) are enclosed. Copies of the revised final plat map have been circulated to the listed officers for their files.

Should you have any questions, please feel free to contact Ed Cheplic of this department.

Sincerely,


DUANE KANUHA
Planning Director

ETC:Inm

Coh33\planning\public\Admin Permits Division\Consolidation\2015\FCA CON-14 000267BoschettiREV\FPM 01-28-15

Encs.: 4 Certified Revised FPM (CON-14-000267-Revised)

REC'D FEB 05 2015

Steven S.C. Lim, Esq.
Carlsmith Ball, LLP
A Limited Liability Law Partnership
Page 2
January 28, 2015

xc: Manager, DWS w/Certified Revised FPM
 Director, DPW w/Certified Revised FPM
 District Environmental Health Program Chief, DOH w/Certified Revised FPM
 Real Property Tax Division-Hilo w/Certified Revised FPM
 Tax Maps and Records Supervisor w/Certified Revised FPM & 1-CAD File
 Giampaolo Boschetti c/o Western Apartments
 Carol Silva, Big Island Land Co., Ltd.
 Daniel Berg, LPLS, dlb & Associates
 Katherine Luga, Paralegal, Carlsmith Ball, LLP
 REZ-09-000103 (Ord. No. 10 032)

CARLSMITH BALL LLP

A LIMITED LIABILITY LAW PARTNERSHIP

121 WALANUENUE AVENUE

P.O. BOX 686

HILO, HAWAII 96721-0686

TELEPHONE 808.935.6644 FAX 808.935.7975

WWW.CARLSMITH.COM

P (H) F E M
DATE: 6/27/22 BY: LTN

LETTER OF TRANSMITTAL

TO: Sinclair Salas-Ferguson
Deputy Corporation Counsel
101 Aupuni Street, Suite 325
Hilo, Hawaii 96720

DATE: June 27, 2022

RE: Giampaolo Boschetti

☐ Mailed

☒ Hand Delivered

☐

THE FOLLOWING IS (ARE) TRANSMITTED HERewith:

COPIES

DATE

DESCRIPTION

original

Dedication Deed executed by Mr. Boschetti

☐ For Your Information

☐ For Review and Comment

☐ For Your Files

☐ For Necessary Action

☒ Per Your Request

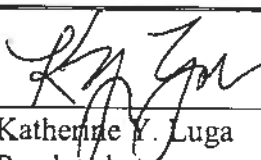
☐ For Signature and Return (Black Ink)

☐ Per Our Conversation

☒ See Remarks Below

REMARKS: Please inform us when the matter has been placed on the County Council agenda.
Thank you.

By


Katherine Y. Luga
Paralegal

Enclosure

Received

JUN 27 2022

Office of the Corporation Counsel
County of Hawaii

LAND COURT

REGULAR SYSTEM

(AREA ABOVE RESERVED FOR RECORDING INFORMATION)

After Recordation, Return by ☒ Mail or ☐ Pick-up Phone#: _____

FILL IN NAME AND ADDRESS BELOW:

CORPORATION COUNSEL (SSF)
101 Aupuni Street, Suite 325
Hilo, Hawai'i 96720

DOCUMENT CONTAINS _____ PAGES

TITLE OF DOCUMENT: DEDICATION DEED

PARTIES TO DOCUMENT

GRANTOR: GIAMPAOLO BOSCHETTI
825 Van Ness Avenue, Suite 301
San Francisco, California 94109

GRANTEE: COUNTY OF HAWAII
25 Aupuni Street
Hilo, Hawai'i 96720

AFFECTS TAX MAP KEY: (3) 2-4-025:134
[formerly TMK: (3) 2-4-025:048]
(Lot 9-L-6-A under Subdivision No. FCA-CON-14-000267)

DEDICATION DEED

KNOW ALL MEN BY THESE PRESENTS:

That **GIAMPAOLO BOSCHETTI, unmarried**, whose mailing address is **825 Van Ness Avenue, Suite 301, San Francisco, California 94109**, hereinafter called the "Grantor", for and in consideration of the sum of ONE AND NO/100 DOLLARS (\$1.00) and other valuable consideration paid to it by the **COUNTY OF HAWAII, a municipal corporation of the State of Hawai'i**, whose principal place of business and mailing address is **County Building, 25 Aupuni Street, Hilo,**

Hawai'i 96720, hereinafter collectively called the "Grantee," the receipt of which will be acknowledged upon closing, does hereby grant, bargain, sell and convey unto the Grantee, its respective successors and assigns, in fee simple, forever, the following real property situated at **Kukuau 1st, District of South Hilo, Island and County of Hawai'i, State of Hawai'i:**

All of that certain parcel of land designated as **Lot 9-L-6-A**, containing an area of 808 square feet, more or less, more particularly described in Exhibit "A" and delineated on Exhibit "B", both of which are attached hereto and made a part hereof by reference, subject to the encumbrances also described in Exhibit "A".

TO HAVE AND TO HOLD the same, together with all rights, improvements, easements, privileges and appurtenances thereunto belonging or in anywise appertaining, or held and enjoyed therewith, unto the Grantee, its respective successors and assigns, in fee simple, forever for future road widening.

AND the Grantor, for itself, its successors and assigns, does hereby covenant with the Grantee, its successors and assigns, that Grantor, itself, its successors and assigns shall not claim, assess, or impose any dues, fees, or assessments for homeowners' or similar associations or road improvement or maintenance.

AND the Grantor, for itself, its successors and assigns, does hereby covenant with the Grantee, its successors and assigns, that it is seised in fee simple of the above-described premises; that the same is free and clear of and from all encumbrances suffered by it and except as aforesaid; that it has good right to sell and convey the same as aforesaid; and that it will, and its successors and assigns will, WARRANT AND DEFEND the same unto the Grantee, its successors and assigns, forever, against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed this

24 day of SOKE, 2022.



GIAMPAOLO BOSCHETTI

"Grantor"

APPROVED AS TO FORM
AND LEGALITY:

SINCLAIR SALAS-FERGUSON
Deputy Corporation Counsel
County of Hawai'i

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
COUNTY OF SAN FRANCISCO)

On 6/29/22, 2022, before me, LEANNE KWAN,

Notary Public, personally appeared **GIAMPAOLO BOSCHETTI**, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____



(seal)



EXHIBIT A

Lot 9-L-6-A For Road Widening Purposes

That certain parcel of land being the consolidation and resubdivision of Lot 9-L-6 as shown on Land Court Application 1205, Map 9, (Deregistered per Document No. A-78460692); as shown on Hawaii County Consolidation Map No. 14-000267 (revised), approved January 28, 2015. Situated at Kūkūau 1st, So. Hilo, County of Hawaii, Hawaii being more particularly described as follows:

Beginning at the north corner of this parcel of land being the west right of way of Kapiolani St., the coordinates of said Point of Beginning referred to Government Survey Triangulation Station "HALAI" being 462.14 feet south and 3,540.69 feet east and running by azimuths measured clockwise from true South:

- | | | | | |
|----|------------|-------|-----|---|
| 1. | 333°18'30" | 80.80 | ft. | along the west right of way of Kapiolani St. to the north corner of Lot 9-L-7, thence; |
| 2. | 49°56'00" | 10.28 | ft. | Along the northerly boundary Lot 9-L-7, thence; |
| 3. | 153°18'30" | 80.80 | ft. | along the northeasterly boundary of Lot 169-A, to the southerly boundary of Lot 9-L-5, thence; |
| 4. | 229°56'00" | 10.28 | ft. | Along the southerly boundary of said Lot 9-L-5 to the point of beginning, enclosing an area of 808 sq. ft., more or less. |

Affects TMK2-4-025-134

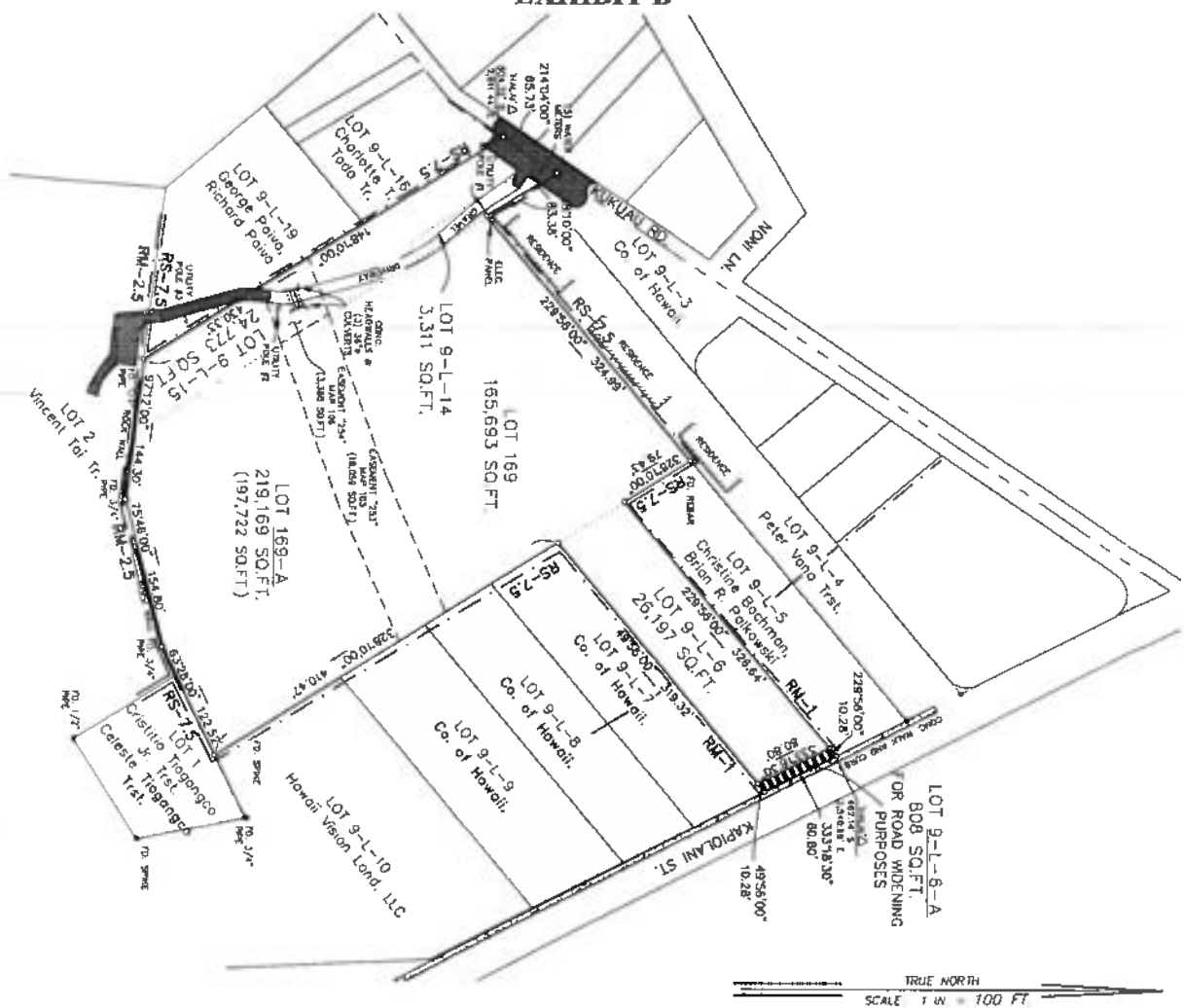


This description was prepared by me or under my direction.

Daniel Berg

Daniel L. Berg,
PLS 11245

EXHIBIT B



DEDICATION LOCATION MAP

TEN (10) FOOT WIDE FUTURE ROAD WIDENING ALONG KAPIOLANI STREET FRONTAGE

TO BE DEDICATED:	Lot 9-L-6-A
TYPE OF ROAD:	10-foot wide future road widening lot
LENGTH OF ROAD:	80.80 lineal feet
AREA OF ROAD:	808 square feet
TAX MAP KEY:	2-4-025:134



**STATE OF HAWAII
BUREAU OF CONVEYANCES
RECORDED**

November 17, 2021 1:38 PM

Doc No(s) A - 79911178

Doc 1 of 1
Pkg 11907733 CGG

/s/ LESLIE T KOBATA
REGISTRAR

LAND COURT

REGULAR SYSTEM

Return By Mail ☐ Pick-Up ☒ To:

Katherine A. Garson
CARLSMITH BALL LLP
121 Waiamuenue Avenue
Hilo, Hawaii 96720
Telephone: 808.935.6644

(This document consists of 9 pages.)

TITLE OF DOCUMENT:

AFFIDAVIT OF DANIEL L. BERG

TAX MAP KEYS: (3) 2-4-025:048 (Lot 169-A) and 136 (Lot 9-L-6-A)
[formerly TMKs: (3) 2-4-025:053, 048 and 080]
under FCA-CON-14-000267

4845-5394-9181/11-09-21

STATE OF HAWAII)
) SS.
COUNTY OF HAWAII)

1. I am a Licensed Professional Land Surveyor, Certificate No. 11245, in the State of Hawaii.

3. Attached hereto as Exhibit B is a true and correct reduced copy of the certified Final Plat Map, depicting the above-described consolidation and resubdivision.

5. Attached hereto as Exhibit D is a true and correct copy of the metes and bounds description for Lot 9-L-6-A (containing an area of 808 square feet, more or less) for road widening purposes.

DATED: Hilo, Hawaii, November 17, 2021.

D. L. Berg
DANIEL L. BERG

Name: KAYLA S. OKIMOTO
Notary Public, State of Hawaii

Document Identification or Description: Affidavit of Daniel L. Berg

No. of Pages: 9 (Nine)

150

Signature of Notary

KAYLA S. OKIMOTO

Printed Name of Notary

(Notary Stamp or Seal)

(Notary Stamp or Seal)

Exhibit A

Mitchell D. Roth
Mayor

Lee F. Lord
Managing Director

West Hawaii Office
74-5044 Aiea Kōhōkalo Hwy
Kahala-Kona, Hawaii 96740
Phone (808) 323-4770
Fax (808) 327-3563



County of Hawai'i
PLANNING DEPARTMENT

Zendo Kern
Director

Jeffery W. Darrow
Deputy Director

East Hawaii Office
101 Pauahi Street, Suite 3
Hilo, Hawaii 96720
Phone (808) 961-8288
Fax (808) 961-8742

October 27, 2021

Steven S.C. Lim, Esq.
Carlsmith Ball, LLP
P.O. Box 686
Hilo, HI 96721-0686

Dear Mr. Lim:

SECOND REVISED FINAL PLAT MAP
SUBDIVIDER: BOSCHETTI, Giampaolo
Proposed Consolidation of Lot 169 as shown on Map 72
And Lots 9-L-6, 9-L-14, & 9-L-15 as shown on Map 9,
Land Court Application 1205,
Into Lot 169-A & Road Widening Lot 9-L-6-A
Kūkūāu 1st, South Hilo, Island of Hawai'i, Hawai'i
TMKs: (3) 2-4-025: 048, 053, & 080 (FCA-CON-14-000267)

This is to acknowledge receipt of the revised final plat map dated September 28, 2021, for the referenced subdivision application.

Please be advised that we have certified the revised final plat map of which copies have been circulated to the listed officers for their files.

A digital version of the certified revised final plat map is available to you online. Please log into your EPIC account to view the files. Should you have any questions, please feel free to contact Hans Santiago at hans.santiago@hawaiicounty.gov or Jonathan Holmes at jonathan.holmes@hawaiicounty.gov.

Sincerely,

Zendo Kern
(Authorized Signatory)

ZENDO KERN
Planning Director

www.planning.hawaiicounty.gov

Hawai'i County is an Equal Opportunity Provider and Employer

planning@hawaiicounty.gov

Steven S.C. Lim, Esq.
Carlsmith Ball, LLP
October 27, 2021
Page 2

HS:tb

P:\Admin Permits Division\Consolidation\2021\FCA-CON-14-080267.docx

xc: Manager, DWS w/Certified Revised FPM
 Director, DPW w/Certified Revised FPM
 District Environmental Health Program Chief, DOH w/Certified Revised FPM
 Real Property Tax Division-Hilo w/Certified Revised FPM
 Tax Maps and Records Supervisor w/Certified Revised FPM
 Giampaolo Boschetti
 Daniel Berg, LPLS, dlb & Associates
 Carol Silva, Big Island Land Co., Ltd.

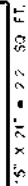


Exhibit C

Lot 169-A

That certain parcel of land being the consolidation of Lots 169 as shown on Land Court Application 1205, Map 72, 9-L-6, 9-L-14, and 9-L-15 of Land Court Application 1205, Map 9, (Deregistered per Document No. A-78460690 and Document No. A-78460692); as shown on Hawaii County Consolidation Map No. 14-000267 (revised), approved January 28, 2015. Situated at Kukua 1st, So. Hilo, County of Hawaii, Hawaii being more particularly described as follows:

Beginning at the west corner of this parcel of land being the south right of way of Kukua rd., the coordinates of said Point of Beginning referred to Government Survey Triangulation Station "HALAI" being 804.32 feet south and 2,911.44 feet east and running by azimuths measured clockwise from true South:

1. 214°04'00" 65.73 ft. along the south right of way of Kukua rd. to the west corner of Lot 9-L-3, thence;
2. 328°10'00" 83.38 ft. along Lot 9-L-3 and Lot 9-L-4 to the south corner of said Lot 9-L-4, thence;
3. 229°56'00" 324.99 ft. along the south boundary of said Lot 9-L-4, to the west corner of Lot 9-L-5, thence;
4. 328°10'00" 79.43 ft. along the west boundary of said Lot 9-L-5 ft.
5. 229°56'00" 326.64 ft. along the southerly boundary of said Lot 9-L-5, to the northwest corner of Lot 9-L-6-A Kapiolani St. road widening boundary, thence;
6. 333°18'30" 80.80 ft. along said Lot 9-L-6-A to the north corner of Lot 9-L-7, thence;
7. 49°56'00" 319.32 ft. along said Lot 9-L-7, thence;
8. 328°10'00" 410.47 ft. along Lots 9-L-7 thru 9-L-10 to the north boundary of Lot 1 as shown on HCPID Subd. No. 08-000812-r; thence

- | | | | | |
|-----|------------|--------|-----|--|
| 9. | 63°28'00" | 122.52 | ft. | along Lot 1 and Lot 2, as shown on said Subd. No. 08-000812-r. thence; |
| 10. | 75°46'00" | 154.80 | ft. | along Lot 2, as shown on said Subd. No. 08-000812-r. thence; |
| 11. | 97°12'00" | 144.30 | ft. | along same to the south corner of Lot 9-L-19, thence; |
| 12. | 148°10'00" | 430.33 | ft. | along the east boundary of Lots 9-L-19 and 9-L-16, to the point of beginning. Enclosing an area of 219,169 sq. ft. more or less. |

Affects TMK2-4-025-048
Subject to easements 253 and 254



This description was prepared by me
or under my direction.

Daniel Berg
Daniel L. Berg.
PLS 11245

Exhibit D

Lot 9-L-6-A For Road Widening Purposes

That certain parcel of land being the consolidation and resubdivision of Lot 9-L-6 as shown on Land Court Application 1205, Map 9, (Deregistered per Document No. A-78460692); as shown on Hawaii County Consolidation Map No. 14-000267 (revised), approved January 28, 2015. Situated at Kukua 1st, So. Hilo, County of Hawaii, Hawaii being more particularly described as follows:

Beginning at the north corner of this parcel of land being the west right of way of Kapiolani St., the coordinates of said Point of Beginning referred to Government Survey Triangulation Station "HA1.A1" being 462.14 feet south and 3,540.69 feet east and running by azimuths measured clockwise from true South:

1. 333°18'30" 80.80 ft. along the west right of way of Kapiolani St. to the north corner of Lot 9-L-7, thence;
2. 49°56'00" 10.28 ft. Along the northerly boundary Lot 9-L-7, thence;
3. 153°18'30" 80.80 ft. along the northeasterly boundary of Lot 169-A, to the southerly boundary of Lot 9-L-5, thence;
4. 229°56'00" 10.28 ft. along the southerly boundary of said Lot 9-L-5, to the point of beginning. Enclosing and area of 808 sq. ft. more or less.

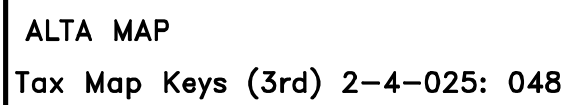
Affects TMK2-4-025-134



This description was prepared by me or under my direction.

Daniel L. Berg
Daniel L. Berg,
P.L.S. 11245

TMK(3) 2-4-025: 048
SHEET 2 OF 2



LEGAL DESCRIPTION

The land referred to in this Report is situated in the State of Hawaii, and described as follows:
LOT 169-A

That certain parcel of land being the consolidation of Lots 169 as shown on Land Court Application 1205, Map 72, Lots 9-L-6, 9-L-14, and 9-L-15 of Land Court Application 1205, Map 9, (deregistered per Document No. A-78460690 and Document No. A-78460692); as shown on Hawaii County Consolidation Map No. 14-00267 (revised), approved January 28, 2015. Situated at Kukuau 1st, South Hilo, Island and County of Hawaii, Hawaii being more particularly described as follows:

Beginning at the West corner of this parcel of land being the South right of way of Kukuau Road, the coordinates of said Point of Beginning referred to Government Survey Triangulation Station "HALAI" being 804.32 feet South and 2,911.44 feet East and running azimuths measured clockwise from true South:

1. 214° 04' 00" 65.73 feet along the South right of way of Kukuau Road to the West corner of Lot 9-L-3, thence;
2. 328° 10' 00" 83.38 feet along Lot 9-L-3 and Lot 9-L-4 to the South corner of said Lot 9-L-4, thence;
3. 229° 56' 00" 324.99 feet along the South boundary of said Lot 9-L-4, to the West corner of Lot 9-L-5, thence;
4. 328° 10' 00" 79.43 feet along the West boundary of said Lot 9-L-5
5. 229° 56' 00" 326.64 feet along the Southerly boundary of said Lot 9-L-5, to the Northwest corner of Lot 9-L-6-A Kapiolani Street, road widening boundary, thence;
6. 333° 18' 30" 80.80 feet along said Lot 9-L-6-A to the North corner of Lot 9-L-7, thence;
7. 49° 56' 00" 319.32 feet along said Lot 9-L-7, thence;
8. 328° 10' 00" 410.47 feet along Lots 9-L-7 thru 9-L-10 to the North boundary of Lot 1 as shown on HCPD Subd. No. 08-000812-r; thence;
9. 63° 28' 00" 122.52 feet along Lot 1 and Lot 2, as shown on said Subd. No. 08-000812-r, thence;
10. 75° 46' 00" 154.80 feet along Lot 2, as shown on said Subd. No. 08-000812-r, thence;
11. 97° 12' 00" 144.30 feet along same the South corner of Lot 9-L-19, thence;
12. 148° 10' 00" 430.33 feet along the east boundary of Lots 9-L-19 and 9-L-16, to the point of beginning. Enclosing an area of 219,169 square feet, more or less.

Together with a right-of-way for roadway access pruposes over and across the following described property:

LOT 9-L-6-A
For Road Widening Purposes

That certain parcel of land being the consolidation and resubdivision of Lot 9-L-6 as shown on Land Court Application 1205, Map 9, (deregistered per Document No. A-78460692); as shown on Hawaii County Consolidation Map No. 14-000267 (revised), approved January 28, 2015. Situated at Kukuau 1st, South Hilo, Island and County of Hawaii, Hawaii being more particularly described as follows:

Beginning at the North corner of this parcel of land being the West right of way of Kapiolani Street, the coordinates of said Point of Beginning referred to Government Survey Triangulation Station "HALAI" being 462.14 feet South and 3,540.69 feet East and running by azimuths measured clockwise from true South:

1. 333° 180' 30" 80.80 feet along the West right of way of Kapiolani Street, to the North corner of Lot 9-L-7, thence;
2. 49° 56' 00" 10.28 feet Along the Northerly boundary Lot 9-L-7, thence;
3. 153° 18' 30" 80.80 feet along the Northeasterly boundary of Lot 169-A to the Southerly boundary of Lot 9-L-5, thence;
4. 229° 56' 00" 10.28 feet along the Southerly boundary of said Lot 9-L-5, to the point of beginning. Enclosing and area of 808 square feet, more or less.

EXCEPTIONS AND EXCLUSIONS

The following items are **NOT ADDRESSED ON THIS MAP:** 1,2,9-12,15-18

3. An easement for a right of way in favor of the owners and occupants of L.C.A.s 2663, 2402 and Grant 7655, as set forth in Order of Subdivision filed on December 19, 1950 as Land Court Order No. 9997, and also mentioned in Deed dated May 12, 1978 and filed as Land Court Document No. 1464982.
OVER AND ACROSS THE ROADWAY ACROSS FORMER LOT 9; ROAD SHOWN HEREON.
4. Easement for access
For : Access purposes
As shown on Map 72
As disclosed in Land Court Order No. 101694.
PLOTTED HEREON; ACCESS EASEMENT THROUGH FORMER LOT 9-L-14 AS SHOWN ON MAP 9, L.C. App. No. 1205; BENEFITS FORMER LOT 169.
5. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following
Instrument : GRANT OF EASEMENT
Granted To : PETER VANA, Trustee of the Peter Vana Trust, dated June 3, 1994
For : a non-exclusive right and easement for road and utility purposes, as shown on the map attached thereto, for the benefit of Tax Map Key (3) 2-4-025-132, the same being Lot 9-L-4
Dated : March 31, 1999
Recorded : April 16, 1999 in the Office of the Assistant Registrar of the Land Court, State of Hawaii, as Document No. 2535871
PLOTTED HEREON
6. EASEMENT 253
For : Drainage purposes
As shown on Map 105
As disclosed in Land Court Order No. 179370.
PLOTTED HEREON
7. EASEMENT 254
For : Drainage purposes
As shown on Map 106
As disclosed in Land Court Order No. 179371.
PLOTTED HEREON
8. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following
Instrument : GRANT OF EASEMENT
Granted To : COUNTY OF HAWAII, a municipal corporation of the State of Hawai'i
For : Drainage purposes over Easements 253 and 254
Dated : December 15, 2009
Recorded : January 5, 2010 in the Office of the Assistant Registrar of the Land Court, State of Hawaii, as Document No. 3929195
PLOTTED HEREON
13. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
NOT ADDRESSED ON THIS MAP
14. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
SEE GENERAL NOTES FOR ANY OBSERVED DURING FIELD SURVEY

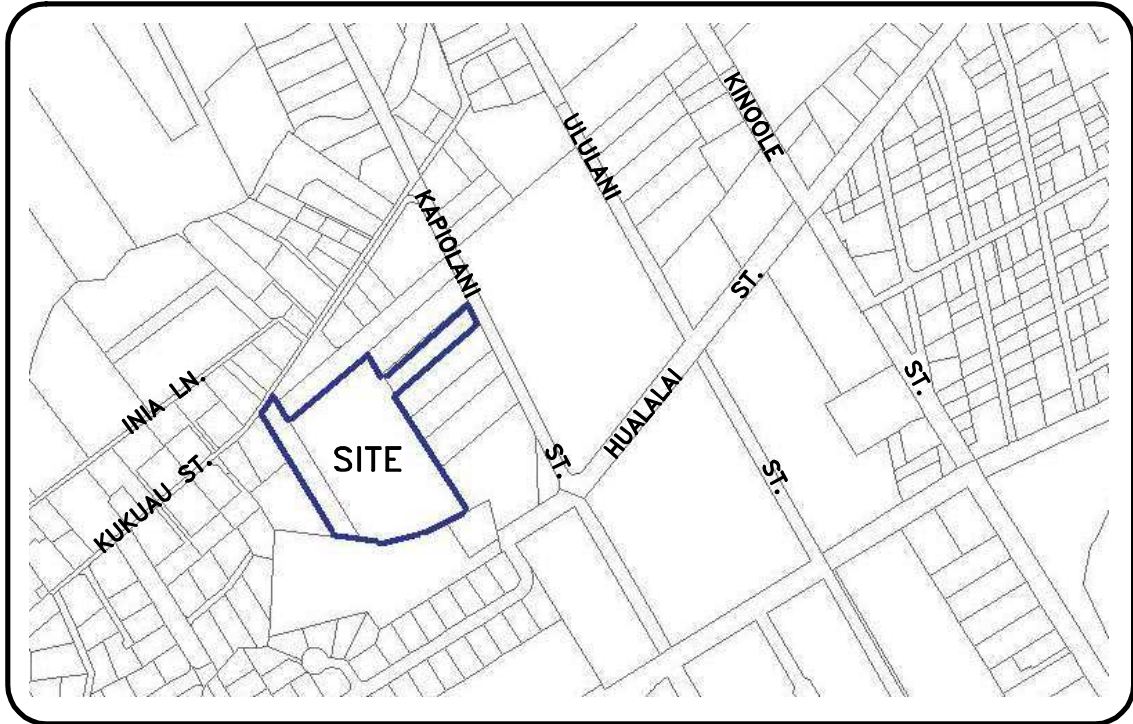
General Notes (See map sheet for special notes.)

1. Only those objects and utilities that are visible are shown on this map. No subsurface exploration of underground utilities or tanks was conducted. No warranty, expressed or implied, is given to location of buried or hidden improvements. No plans or reports were provided to the surveyor for any further evidence of utilities.
2. Apparent Use: Undeveloped; vacant land
3. Record Owner & Situs:
Giampaolo Paul Boschetti, as Fee Owner

TMK(3): 2-4-025: 048
350 Kapiolani Street, Hilo, HI 96720.
3. Land Use Zone: RM-1.5, Multifamily Residential, 1,500 S.F. per dwelling unit.
F/R Setbacks: 20 ft. Side Setbacks: 8 ft. Height Restriction: 120 ft.
(See §25-5-30 thru 38 for added details.)
4. Flood Zone: Lot within Flood Zone X, Protected by Levee and Flood Zone X (FIRM 1551660904 F (September 29, 2017).
5. Gross area of situs:
TMK(3) 2-4-025: 048 = 219,169 S.F. ±
6. No buildings observed on lot to measure dimensions, footprint, and heights.
7. No developed parking stalls observed during field survey.
8. No developed division or party walls observed during field survey.
9. Distance to nearest street intersection labeled on map.
10. No evidence of recent earth moving work, building construction, or building additions observed in the process of conducting field survey.
11. Note about any proposed right-of-way changes.
12. Wall encroaches onto Lot 169-A at N'ly boundary.
13. Rock walls straddle property line at S'ly boundary.
14. Electric panel encroaches onto Lot 169-A.
15. Overhead wires (elec/tel. utilities) not specifically granted in Land Court documents referred to as Exception 3. (Easement)

ALTA/NSPS Survey
Of Lot 169-A as shown on Consolidation Map No. 14-000267, Situated at Kukuau 1st, South Hilo, Island and County of Hawaii.

TMK(3) 2-4-025: 048
SHEET 1 OF 2



VICINITY MAP
NO SCALE



To: Old Republic Title & Escrow of Hawaii and A0705Hilo,L.P.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 through 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 14, and 16 through 19 of Table A thereof. The fieldwork was completed on June 1 2023.

Date of Plat or Map: June 26, 2023.

Daniel L. Berg
Daniel L. Berg
PLS 11245

Tax Map Keys (3rd) 2-4-025: 048

Date: June 08, 2023
Escrow: Old Republic Order No. 6841 00 4421-CE



2610 Pacific Heights Road • Honolulu, Hawaii 96813 • (808) 829-1426

Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit H

Approved offsite drainage report

OFFSITE DRAINAGE REPORT

STREAM STUDY

FOR

KAIAULU O KAPIOLANI

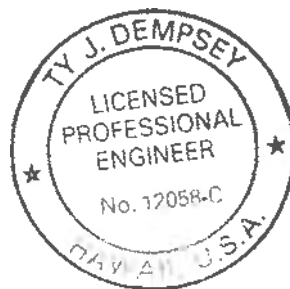
TMK: (3) 2-4-025: 048, 053 & 080

PREPARED BY:

Dempsey Pacific Inc.

Civil Engineering Design & Consulting Services

P.O. Box 10384
Honolulu, HI 96816



Exp. 4/30/22

THIS WORK WAS PREPARED BY ME OR UNDER
MY SUPERVISION AND CONSTRUCTION OF THIS
PROJECT WILL BE UNDER MY OBSERVATION.

ENGINEERING DIVISION

Reviewed by

Melanie DeMello

Date

8/27/2021

☒ Approved

☐ Not Approved

☐ Approved as Noted

August 2021

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I. INTRODUCTION

This offsite drainage report and stream study determines the peak flow discharge rate for the proposed Kaiaulu O Kapiolani affordable housing project at TMK parcels 2-4-025 : 048, 053 and 080. The property has an existing drainage easement which runs through the property to convey offsite runoff from the mauka side of the property to the makai side, prior to draining into County properties above Kapiolani Street with an undeveloped retention basin area. Based on the peak flows determined to flow through the drainage easement, onsite drainage improvements are recommended to accommodate the storm water runoff and allow the site to be developed into the proposed multi-family development.

II. EXISTING CONDITIONS

The properties for the proposed Kaiaulu O Kapiolani affordable housing project are TMKs: 2-4-025: 048, 053 and 080. See Appendix A for a Tax Map of the properties involved. Currently the site is a vacant and has a paved and gravel access driveway along the mauka side of the property connecting to Kukuau Road to the north and a long winding driveway to Hualalai Street to the south. The drainage easement runs through the center of the main parcel and consists of Drainage Easement “254” being approximately 3,388 square feet in size and Drainage Easement “253” being approximately 18,059 square feet. Along the mauka portion of the drainage easement, three (3) 36” diameter culverts run underneath the driveway and an unlined channel conveys storm water runoff through the property in the middle of the drainage easement. The site elevations range from 92’ on the mauka side of the easement down to 86’ on the makai side of the drainage easement. See Appendix B for a topographic survey of the properties showing the existing driveway culverts and unlined channel in the drainage easement.

The current FEMA Flood Insurance Rate Map (FIRM) for the area is panel 155166 0904 Revision F dated September 29, 2017. A copy of the area of interest from the current FIRM panel is attached in Appendix C. This FIRM panel shows the property is fully outside of the regulatory floodplain and within the Zone X (unshaded) floodplain being outside of the 500-year floodplain. An additional Flood Hazard Assessment Report from Hawaii State DLNR for the property is provided in Appendix D. The properties and drainage easement conveying offsite runoff through the site is situated between larger drainageways of the Alenaio Stream to the north and the Waiakea Flood Control Channel to the south. Some adjacent residential properties to the north of the site are shown as being within a Zone X location protected by a Levee on the Alenaio Stream, however the proposed Kaiaulu O Kapiolani development does not reside within the area protected by the Levee.

Even though the properties lie outside the FEMA 500-year floodplain, this report assesses the smaller drainage area and peak runoff flows through the drainage easement in accordance with the County Storm Drainage Standard, dated October 1970 (Drainage Standards).

III. HYDROLOGIC CRITERIA

The offsite drainage area was obtained using USGS topographic maps available for the offsite areas and the USGS StreamStats tool. The offsite watershed was determined to start up near Kahikini Street by the Hilo Adult Day Center, passing through Komohana Steet down to the Kaiaulu O Kapiolani project development site and ending in the undeveloped retention basin area below the project site within County property on the mauka side of Kapiolani Street. See Appendix E for the Offsite Drainage Map.

The total offsite drainage area is estimated to be 65 acres with mean elevation of 176 ft. Change in elevations is 269 feet from top to bottom over about 4,800 feet distance. Since the offsite runoff will flow through a culvert within a County drainage easement, the 50-year recurrence interval will be used. Maximum 60 minute precipitation that occurs on average once in 50-years is 6.2 inches per hour per Plate 2. See Appendix F for the StreamStats report summarizing the drainage area and Plate 6 showing the hydrologic information for the offsite watershed area.

Based on the County Drainage Standards, the design recurrence interval for the offsite drainage area of 65 acres is the 50 year design storm (for drainage area being less than 100 acres) within a County drainage easement. The 50-year design storm recurrence interval will be used as the basis for the drainage improvements for the drainage easement through the project site.

Runoff Coefficient (C)

Based on the Drainage Standards, the rational method will be used to estimate the storm runoff for the offsite drainage area being less than 100 acres. The runoff coefficient (C) for the offsite drainage area was estimated based on Table 1 of the Drainage Standards. The offsite drainage area is generally developed and residential in nature with a small drainageway running through the properties. The runoff coefficient is estimated to be:

Watershed Characteristics	Value
Infiltration	0.07 (medium)
Relief	0.03 (rolling 5% to 15% grades)
Vegetal Cover	0.03 (good 10% to 50%)
Development Type	0.40 (residential)
Total (Runoff Coefficient)	0.53

The estimated runoff coefficient for the offsite drainage area is calculated to be 0.53.

Time of Concentration, Tc

The time of concentration is calculated for the overland flow across the offsite areas. The time of concentration will be 30.5 minutes. Refer to Figure 1: Plate 3 – Overland Flow Chart.

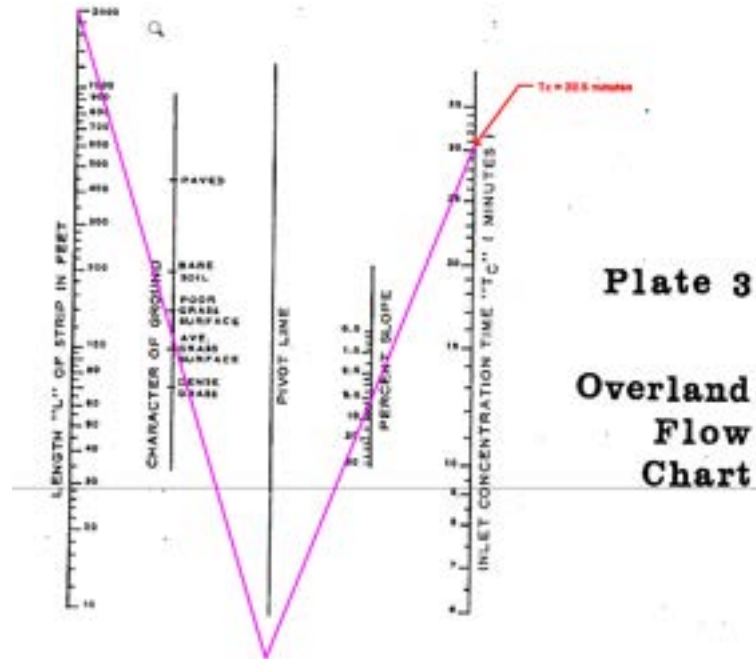


Figure 1: Plate 3 – Overland Flow Chart

Rainfall Intensity for Indicated Durations

Based on the Time of Concentration for drainage area, the Rainfall Intensity for the Indicated Duration is calculated based on Plate 4 from the County's Drainage Standards. The Rainfall Intensities are estimated as shown in Figure 2: Plate 4 – Rainfall Intensities for Indicated Duration.

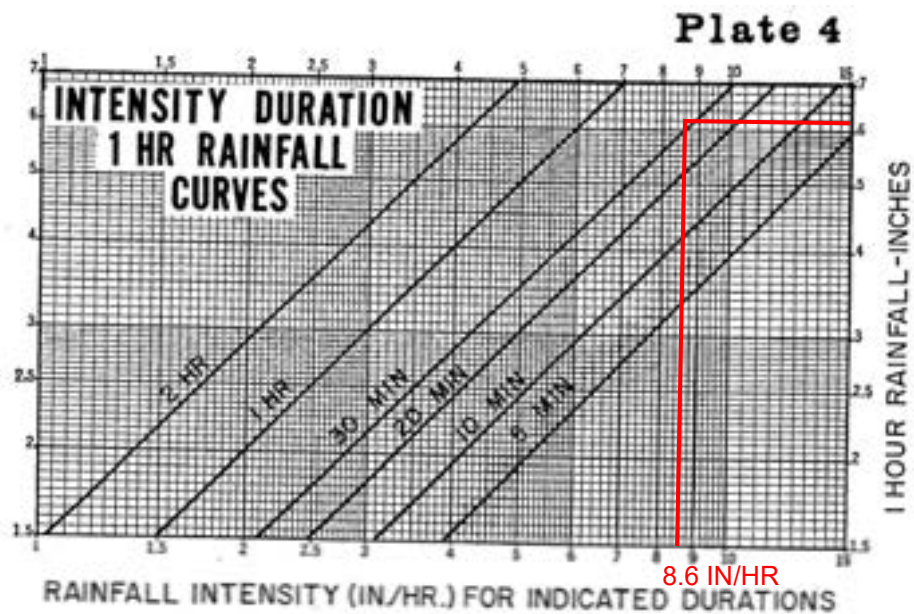


Figure 2: Plate 4 – Rainfall Intensities for Indicated Duration

Using the rational method equation, the peak storm water runoff discharge rates for the offsite drainage area through the drainage easement through the property is calculated as:

	Area	C	I		Q	
	(Acre)		(in/hr)		(cfs)	
50-year	65.0	0.53	I _{50i}	8.60	Q ₅₀	296.27

IV. HYDRAULIC CRITERIA

The proposed site development plan for Kaiaulu O Kapiolani is shown in Appendix G. The drainage easement is shown within the middle of the site and is planned to remain as open pavement and parking areas without any building structures. To provide a safe and usable site, a long culvert is planned to be installed underneath the central parking lot drive aisle. An inlet headwall will be installed on the mauka side of the culvert along with an outlet headwall on the makai side of the culvert. The culvert pipes will generally be placed in the same location as the existing unlined channel and replace the existing three (3) 36" diameter culverts on the gravel driveway. It will pass through the middle of the site under the parking lot drive aisle.

The Federal Highway Administration (FHWA) HY-8 culvert modeling software was used to confirm the culvert sizing that would be warranted to pass the offsite drainage through the drainage easement underneath the parking lot drive aisle. Based on the preliminary construction plans, the culvert design is based on a 386.92' long culvert with 1.24% slope and square headwalls on the inlet and outlet structures. Based on the 50-year design recurrence interval (296.27 cfs peak flow rate), the following culvert configuration will be used for the culvert installation:

- Four (4) 36" diameter RCP circular pipe culverts (HDPE pipe culverts also allowable)

Since the basis of design is the 50-year recurrence interval, it would be recommended to have the parking lot drive aisle areas above the culvert to be designed as a low spot in the project site to accommodate additional storm water runoff if the culverts overflow due to a higher recurrence rain event or temporary blockage of the culvert(s) by debris. Regular maintenance of the culvert pipes will be required to clear any large debris that doesn't pass through the culvert. See Appendix H for the HY-8 analysis report. Based on the proposed culvert analysis, a headwater elevation of 97.33' would occur during the 50-year storm event.

For the current existing conditions, see Appendix I for the HY-8 analysis report for the existing three (3) 36" diameter culverts. The existing conditions has an unpaved driveway going overtop of the existing three culverts, which drains into a natural open channel with a relatively flat channel slope. According to the topographic survey, the existing culverts actually have an inverted negative slope (i.e. the inlet inverts are lower than the outlet inverts), however the center culvert has close to the same invert and outlet elevations, so we modeled the existing culvert conditions using a flat culvert slope. Based on the existing culvert analysis, an existing headwater elevation of 97.89' would occur during the 50-year storm event.

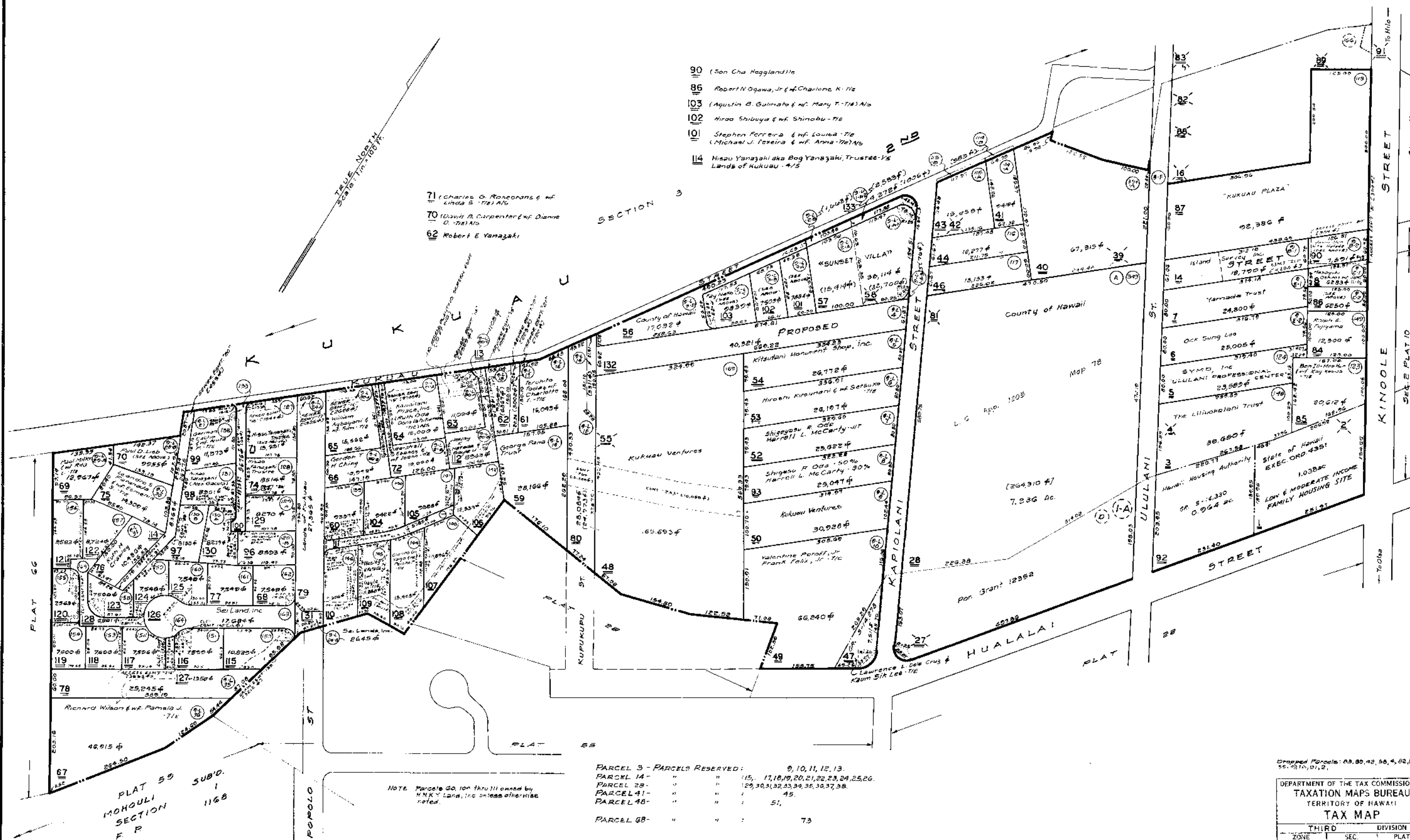
The culvert outlet will have flow velocities of 12 feet per second, and outlet protection shall be provided in the final construction plan design, that can accommodate the flow velocities.

V. CONCLUSION

The offsite watershed area passing through the proposed project drainage easement has been assessed and a range of culvert options are proposed to convey the design 50-year recurrence interval storm offsite runoff through the site. The proposed culvert conditions would decrease the anticipated headwater elevation slightly compared to the existing culvert headwater elevations, so there would not be adverse impacts or additional ponding to the upstream lot. The culvert options would safely convey the design peak storm water runoff and not cause adverse impacts to neighboring adjacent properties. It is recommended that the Kaiaulu O Kapiolani development provide onsite stormwater provisions to convey runoff into this culvert within the drainage easement either by surface flow into drain inlets above the culvert, or underground storm drain lines to tie into the sidewalls of the culvert with a 45-degree angle in the downstream flow direction. Drywells could be installed within the project site or below the invert of the new culvert (if a box culvert option was selected) to help infiltrate stormwater runoff and mitigate developmental increase in storm water runoff anticipated due to the impervious surfaces added for the proposed development.

Appendix A: Tax Map

DWG NO. 4026 Note: This is a direct tracing from L.D. CT. APP. 1205, Map 0
SOURCE: T.M.B. data & L.D. CT. APP. 1205, Map 0
BY: ISA, LEXY. Date: Mar. 19, 1951



- 90 (Son Cha Haggland) 1/2
- 86 Robert N. Ogawa, Jr. & Charlotte K. He
- 103 (Agustin B. Guimato & Wf. Mary T. He) 1/2
- 102 Hiroo Shibuya & Wf. Shinobu - He
- 101 Stephen Ferreira & Wf. Louisa He
(Michael J. Ferreira & Wf. Anna He) 1/2
- 114 Hisao Yamazaki aka Bog Yamazaki, Trustee - 1/2
Lands of Kukuau - 4/5

- 71 (Charles G. Roneorans & Wf. Linda S. He) 1/2
- 70 (David B. Carpenter & Wf. Diane D. He) 1/2
- 62 Robert E. Yamazaki

SECTION 3

- PARCEL 3 - PARCELS RESERVED: 9, 10, 11, 12, 13.
PARCEL 14 - 15, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26.
PARCEL 28 - 29, 30, 31, 32, 33, 34, 35, 36, 37, 38.
PARCEL 41 - 45.
PARCEL 48 - 51.
PARCEL 68 - 73.

NOTE: Parcels 60, 104 thru 111 owned by H.N.K. Land, Inc. unless otherwise noted.

Parcels 65, 74, 115 thru 128 owned by Se. Land, Inc. unless otherwise noted.

Dropped Parcels: 89, 90, 92, 96, 97, 98, 99, 100, 101, 102.

DEPARTMENT OF THE TAX COMMISSIONER			
TAXATION MAPS BUREAU			
TERRITORY OF HAWAII			
TAX MAP			
THIRD		DIVISION	
ZONE	SEC.	PLAT	
2	4	25	
CONTAINING		PARCELS	
SCALE: 1 IN. = 100 FT.			

L.D. CT. APP. 1205
POR. KUKUAU 1ST, So. HILO, HAWAII

SUBJECT TO CHANGE

Appendix B: Topographic Survey



TOPOGRAPHIC SURVEY

LOT 169, 9-L-6, 9-L-14 AND 9-L-15
LAND SITUATED AT KUKUAU 1ST, SOUTH HILO
ISLAND OF HAWAII, HAWAII
PORTION OF R. P. 1666, L. P. 1872,
L. C. Aw. 8515 PART 2 TO KEONI ANA
LAND COURT APPLICATION 1205 (MAP 9 AND 72)

Legend:

- back flow preventer
- fence line
- fire hydrant
- flow line
- overhead line
- tree
- tree height
- tree spread
- tree diameter
- utility pole
- water meter
- water valve

Survey Abbreviations:

- ac asphalt concrete
- approx approximate
- bfp back flow preventer
- clf chain link fence (height)
- co clean-out
- ep edge of pavement
- fdt fire department connection
- fn fire hydrant
- gp guy pole
- hwl hog wire fence
- inv invert
- jp joint utility pole (cable/elec/tele)
- mb mail box
- pcv polyvinyl chloride
- tp transformer
- typ typical
- ts top of stem
- wl water line
- wm water meter
- wv water valve

Survey Notes:

- Topographic survey completed on November 20, 2019.
- Asimuths and Coordinates referred to Government Survey Triangulation Station "HALAHI".
- Origin of elevations is USGS BM 21Y(Re-set) and is referred to Mean Sea Level.
- Underground utilities shown are for information only. No guarantee is made on the accuracy and/or completeness of said information.

Graphic Scale:

30 0 15 60 120
(In Feet)
1 in. = 30 ft.

Prepared By:
Imata & Associates, Inc.
171 Kapiolani Street
Hilo, Hawaii 96720

This work was prepared by me or under my supervision

Wayne A. Subica, Jr.
Licensed Professional Land Surveyor
Certificate Number 15717
Expires: April 30, 2020

November 25, 2019

Appendix C: FEMA FIRM Panel

155°05'37.5"

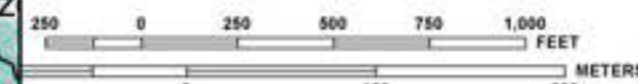
19°43'07.5"

1785000 FT

JOINS PANEL 0902



MAP SCALE 1" = 500'



NOTE: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. FOR ADDITIONAL INFORMATION, SEE THE "ACCREDITED LEVEE NOTE" IN NOTES TO USERS.

1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL

LIMIT OF STUDY

Alenaio Stream

ZONE AE

PROFILE BASE LINE

320000 FT

ZONE A

NOTE: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL-CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. FOR ADDITIONAL INFORMATION, SEE THE "ACCREDITED LEVEE NOTE" IN NOTES TO USERS.

ZONE AE

ZONE AE

PANEL 0904F

FIRM

FLOOD INSURANCE RATE MAP
HAWAII COUNTY,
HAWAII

PANEL 904 OF 1975

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
HAWAII COUNTY	155166	0904	F

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER

1551660904F

MAP REVISED

SEPTEMBER 29, 2017

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Appendix D: Flood Hazard Assessment Tool Report



Flood Hazard Assessment Report

www.hawaiiinfip.org

Property Information

COUNTY: HAWAII
 TMK NO: (3) 2-4-025:048
 WATERSHED: WAILOA
 PARCEL ADDRESS: KAIALU O KAPIOLANI
 HILO, HI 96720

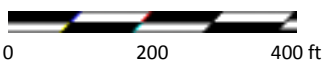
Notes:

Flood Hazard Information

FIRM INDEX DATE: SEPTEMBER 29, 2017
 LETTER OF MAP CHANGE(S): NONE
 FEMA FIRM PANEL: 1551660904F
 PANEL EFFECTIVE DATE: SEPTEMBER 29, 2017

THIS PROPERTY IS WITHIN A TSUNAMI EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://www.scd.hawaii.gov/>

THIS PROPERTY IS WITHIN A DAM EVACUATION ZONE: NO
 FOR MORE INFO, VISIT: <http://dlnreng.hawaii.gov/dam/>



Disclaimer: The Hawaii Department of Land and Natural Resources (DLNR) assumes no responsibility arising from the use, accuracy, completeness, and timeliness of any information contained in this report. Viewers/Users are responsible for verifying the accuracy of the information and agree to indemnify the DLNR, its officers, and employees from any liability which may arise from its use of its data or information.

If this map has been identified as 'PRELIMINARY', please note that it is being provided for informational purposes and is not to be used for flood insurance rating. Contact your county floodplain manager for flood zone determinations to be used for compliance with local floodplain management regulations.

FLOOD HAZARD ASSESSMENT TOOL LAYER LEGEND

(Note: legend does not correspond with NFHL)

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - The 1% annual chance flood (100-year), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. SFHAs include Zone A, AE, AH, AO, V, and VE. The Base Flood Elevation (BFE) is the water surface elevation of the 1% annual chance flood. Mandatory flood insurance purchase applies in these zones:

	Zone A: No BFE determined.
	Zone AE: BFE determined.
	Zone AH: Flood depths of 1 to 3 feet (usually areas of ponding); BFE determined.
	Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined.
	Zone V: Coastal flood zone with velocity hazard (wave action); no BFE determined.
	Zone VE: Coastal flood zone with velocity hazard (wave action); BFE determined.
	Zone AEF: Floodway areas in Zone AE. The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without increasing the BFE.

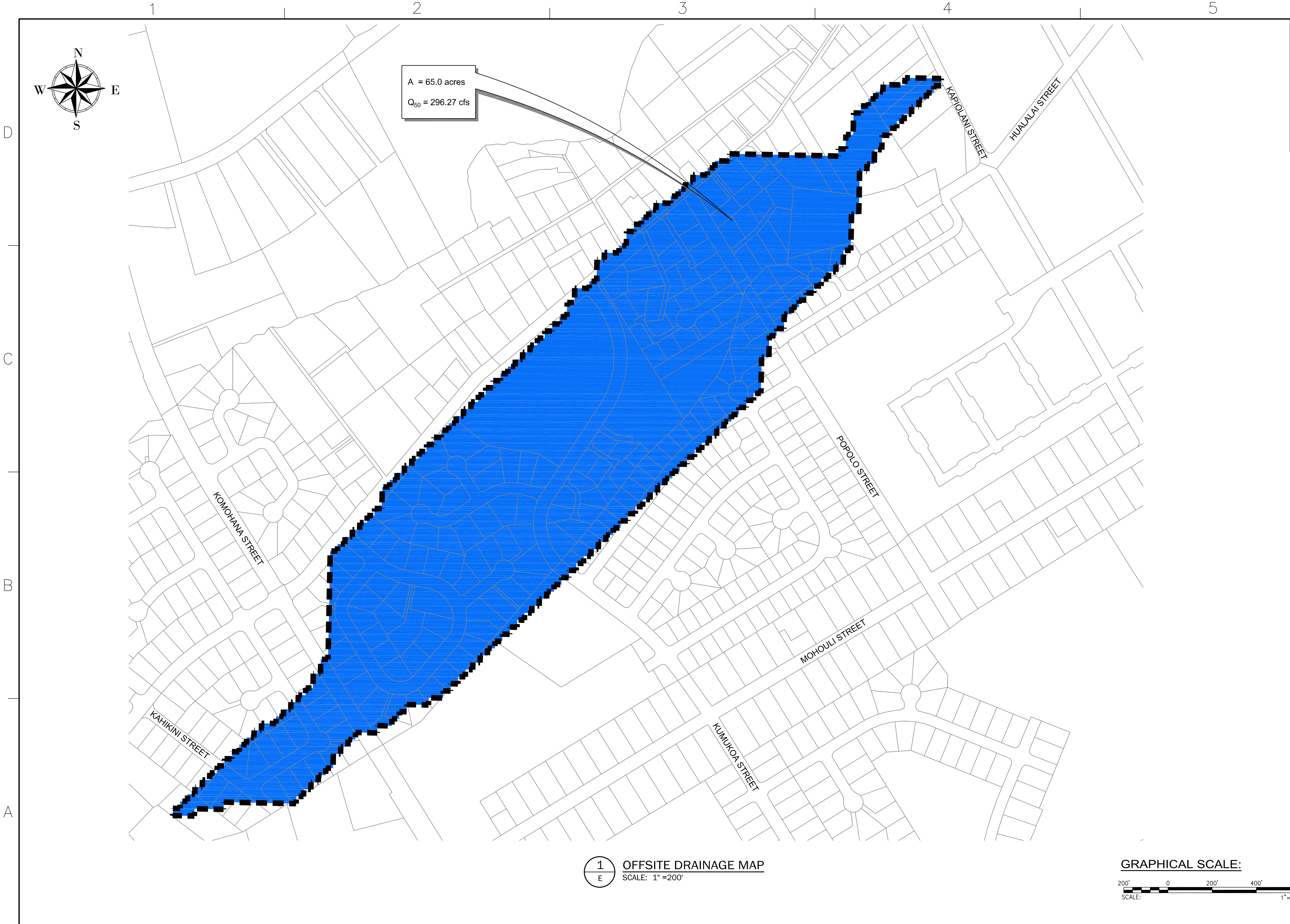
NON-SPECIAL FLOOD HAZARD AREA - An area in a low-to-moderate risk flood zone. No mandatory flood insurance purchase requirements apply, but coverage is available in participating communities.

	Zone XS (X shaded): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
	Zone X: Areas determined to be outside the 0.2% annual chance floodplain.

OTHER FLOOD AREAS

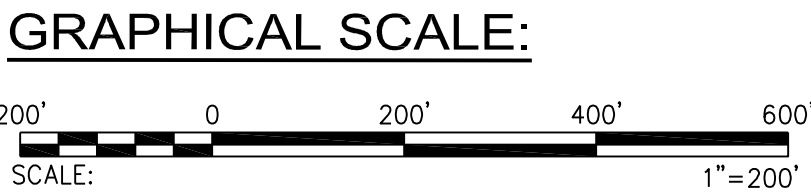
	Zone D: Unstudied areas where flood hazards are undetermined, but flooding is possible. No mandatory flood insurance purchase applies, but coverage is available in participating communities.
--	---

Appendix E: Offsite Drainage Map



A = 65.0 acres
Q₅₀ = 296.27 cfs

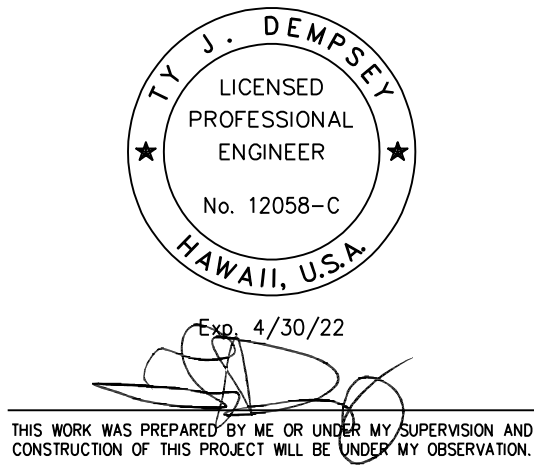
1 OFFSITE DRAINAGE MAP
E SCALE: 1" = 200'



Dempsey Pacific Inc.

Civil Engineering Design
and consulting Services

P.O. Box 10384
Honolulu, HI 96816
(808) 277-2043
www.dempseypacific.com



Project:

KAIAULU O KAPIOLANI

Project Location:

TMK: (3) 2-4-025:048, 053 & 080
HILO, HAWAII

Sheet Title:

OFFSITE DRAINAGE MAP

Drawing Revisions			
No:	Date:	Description:	Appr:

Date: 2/10/20

Drawn By: AB Checked By: TD

Job Number: J19.45

Sheet: E

Number: of

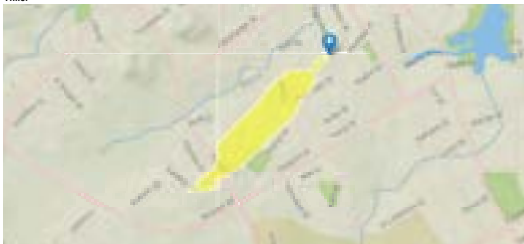
Appendix F: StreamStats Report

A study area is needed before viewing the report

Kaiaulu O Kapiolani Offsite Drainage Analysis

Region ID:
Workspace ID:
Clicked Point (Latitude, Longitude):
Time:

HI
HI20200204194408506000
19.71480, -155.08595
2020-02-04 09:44:28 -1000



Offsite Drainage Area and Hydrology determined by USGS StreamStats topographic analysis and regression equations.

Basin Characteristics			
Parameter Code	Parameter Description	Value	Unit
BASINPERIM	Perimeter of the drainage basin as defined in SIR 2004-5262	2.59	miles
BSLDEM10M	Mean basin slope computed from 10 m DEM	6.61	percent
CENTROIDY	Basin centroid vertical (y) location in state plane units	2184142.9	meters
COMPRAT	A measure of basin shape related to basin perimeter and drainage area	2.28	dimensionless
CSL10_85	Change in elevation divided by length between points 10 and 85 percent of distance along main channel to basin divide - main channel method not known	269	feet per mi
DRNAREA	Area that drains to a point on a stream	0.1	square miles
ELEV	Mean Basin Elevation	176	feet
ELEV10FT	Elevation at 10 percent from outlet along longest flow path slope using DEM	92.8	feet
ELEV10FT3D	Elevation at 10 percent from outlet along longest flow path slope using 3D line	92.6	feet
ELEV85FT	Elevation at 85 percent from outlet along longest flow path slope using DEM	293	feet
ELEV85FT3D	Elevation at 85 percent from outlet along longest flow path slope using 3D line	293	feet
ELEVMAX	Maximum basin elevation	345	feet



Project Site
 $I_{50}=6.2$ inches/hour

Plate 2

General Disclaimers
Parameter values have been edited, computed flows may not apply.
Upstream regulation was checked for this watershed.
This watershed is percent regulated, computed flows may not apply.
This watershed has been edited, computed flows may not apply.
The resulting delineations are derived from digital elevation data and storm drain vectors that have been processed to enforce drainage through storm drains.

Appendix G: Preliminary Site Plan

Appendix H: HY-8 Culvert Analysis Proposed Conditions

Proposed Culvert Conditions

HY-8 Culvert Analysis Report

Crossing Discharge Data

Discharge Selection Method: Specify Minimum, Design, and Maximum Flow

Minimum Flow: 146.42 cfs

Design Flow: 296.27 cfs

Maximum Flow: 300 cfs

Table 1 - Summary of Culvert Flows at Crossing: Kaiaulu O Kapiolani

Headwater Elevation (ft)	Total Discharge (cfs)	Culverts Discharge (cfs)	Roadway Discharge (cfs)	Iterations
94.07	146.42	146.42	0.00	1
94.31	161.78	161.78	0.00	1
94.57	177.14	177.14	0.00	1
94.84	192.49	192.49	0.00	1
95.14	207.85	207.85	0.00	1
95.46	223.21	223.21	0.00	1
95.80	238.57	238.57	0.00	1
96.17	253.93	253.93	0.00	1
96.57	269.28	269.28	0.00	1
97.33	296.27	296.27	0.00	1
97.43	300.00	299.67	0.17	14
97.42	299.33	299.33	0.00	Overtopping

Rating Curve Plot for Crossing: Kaiaulu O Kapiolani

Total Rating Curve

Crossing: Kaiaulu O Kapiolani

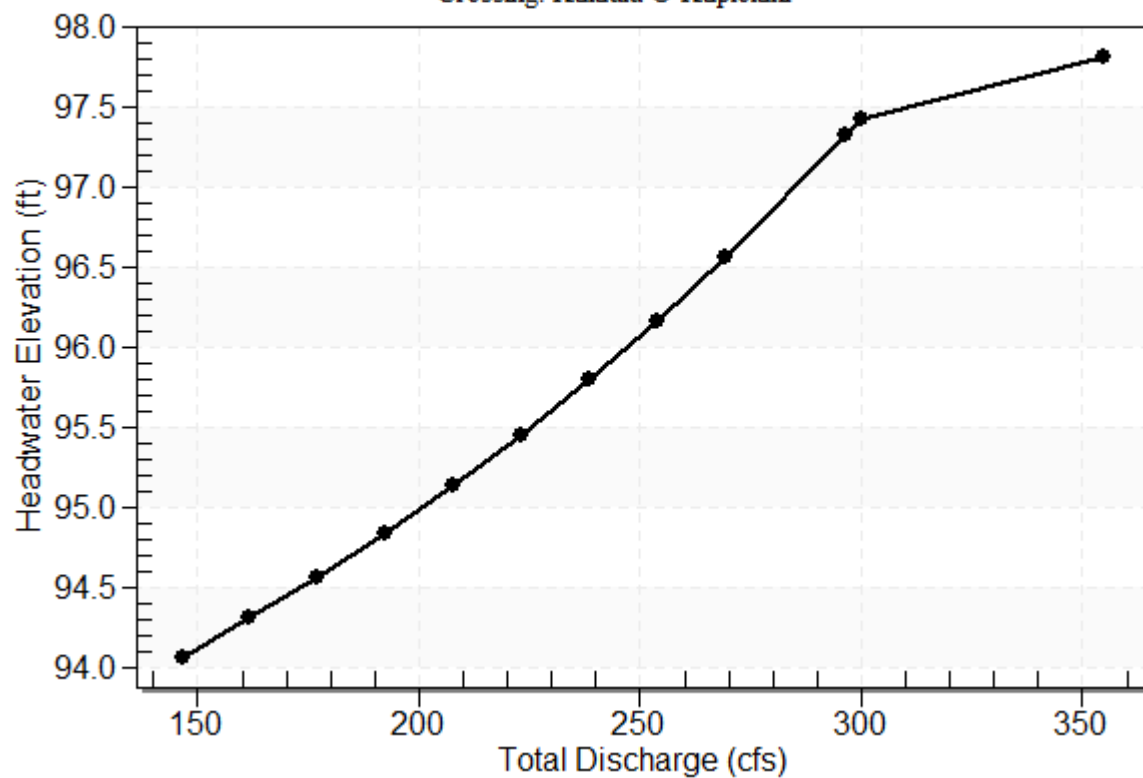
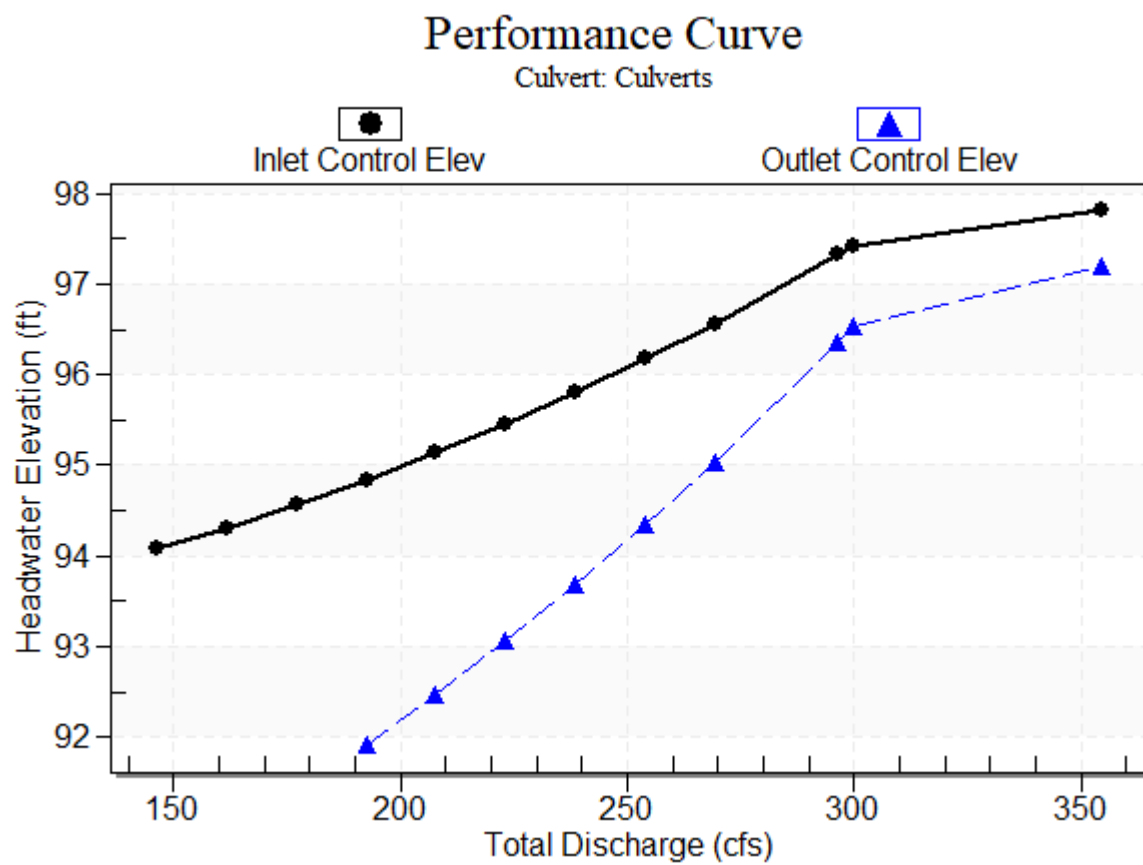


Table 2 - Culvert Summary Table: Culverts

Total Discharge (cfs)	Culvert Discharge (cfs)	Headwater Elevation (ft)	Inlet Control Depth (ft)	Outlet Control Depth (ft)	Flow Type	Normal Depth (ft)	Critical Depth (ft)	Outlet Depth (ft)	Tailwater Depth (ft)	Outlet Velocity (ft/s)	Tailwater Velocity (ft/s)
146.42	146.42	94.07	3.072	0.0*	5-S2n	1.485	1.967	1.500	1.452	10.354	7.332
161.78	161.78	94.31	3.312	0.0*	5-S2n	1.576	2.071	1.576	1.523	10.750	7.528
177.14	177.14	94.57	3.567	0.0*	5-S2n	1.666	2.168	1.666	1.590	10.986	7.711
192.49	192.49	94.84	3.841	0.912	5-S2n	1.756	2.259	1.756	1.654	11.198	7.883
207.85	207.85	95.14	4.137	1.466	5-S2n	1.846	2.344	1.846	1.714	11.388	8.044
223.21	223.21	95.46	4.456	2.056	5-S2n	1.938	2.423	1.952	1.773	11.457	8.196
238.57	238.57	95.80	4.800	2.682	5-S2n	2.032	2.495	2.032	1.829	11.702	8.340
253.93	253.93	96.17	5.171	3.345	5-S2n	2.130	2.561	2.156	1.882	11.675	8.478
269.28	269.28	96.57	5.568	4.043	5-S2n	2.234	2.620	2.234	1.934	11.925	8.609
296.27	296.27	97.33	6.329	5.356	5-S2n	2.446	2.708	2.446	2.021	12.004	8.825
300.00	299.67	97.43	6.430	5.530	5-S2n	2.478	2.718	2.478	2.033	12.000	8.854

Straight Culvert
Inlet Elevation (invert): 91.00 ft, Outlet Elevation (invert): 86.20 ft
Culvert Length: 386.95 ft, Culvert Slope: 0.0124

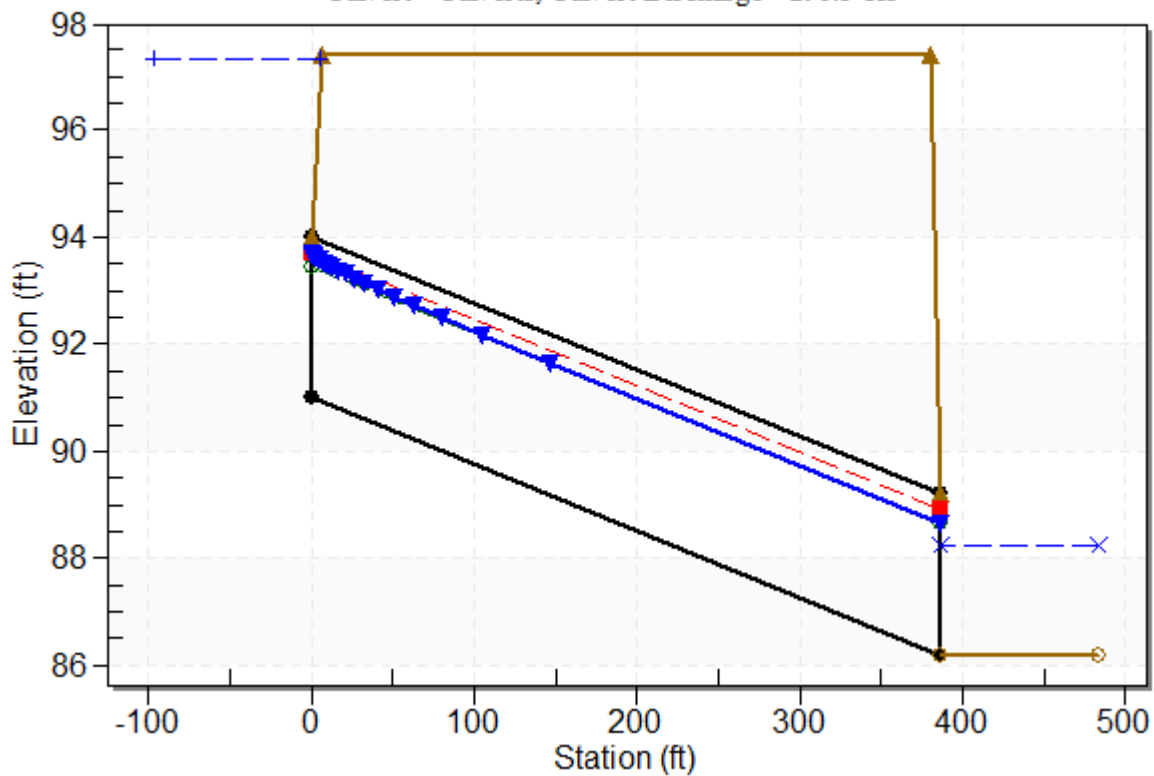
Culvert Performance Curve Plot: Culverts



Water Surface Profile Plot for Culvert: Culverts

Crossing - Kaiaulu O Kapiolani, Design Discharge - 296.3 cfs

Culvert - Culverts, Culvert Discharge - 296.3 cfs



Site Data - Culverts

Site Data Option: Culvert Invert Data

Inlet Station: 0.00 ft

Inlet Elevation: 91.00 ft

Outlet Station: 386.92 ft

Outlet Elevation: 86.20 ft

Number of Barrels: 4

Culvert Data Summary - Culverts

Barrel Shape: Circular

Barrel Diameter: 3.00 ft

Barrel Material: Concrete

Embedment: 0.00 in

Barrel Manning's n: 0.0130

Culvert Type: Straight

Inlet Configuration: Square Edge with Headwall

Inlet Depression: None

Table 3 - Downstream Channel Rating Curve (Crossing: Kaiaulu O Kapiolani)

Flow (cfs)	Water Surface Elev (ft)	Depth (ft)	Velocity (ft/s)	Shear (psf)	Froude Number
146.42	87.65	1.45	7.33	2.94	1.33
161.78	87.72	1.52	7.53	3.09	1.33
177.14	87.79	1.59	7.71	3.22	1.34
192.49	87.85	1.65	7.88	3.35	1.35
207.85	87.91	1.71	8.04	3.48	1.36
223.21	87.97	1.77	8.20	3.59	1.36
238.57	88.03	1.83	8.34	3.71	1.37
253.93	88.08	1.88	8.48	3.82	1.37
269.28	88.13	1.93	8.61	3.92	1.38
296.27	88.22	2.02	8.83	4.10	1.39
300.00	88.23	2.03	8.85	4.12	1.39

Tailwater Channel Data - Kaiaulu O Kapiolani

Tailwater Channel Option: Trapezoidal Channel

Bottom Width: 6.50 ft

Side Slope (H:V): 5.00 (1:1)

Channel Slope: 0.0325

Channel Manning's n: 0.0350

Channel Invert Elevation: 86.20 ft

Roadway Data for Crossing: Kaiaulu O Kapiolani

Roadway Profile Shape: Constant Roadway Elevation

Crest Length: 55.00 ft

Crest Elevation: 97.42 ft

Roadway Surface: Paved

Roadway Top Width: 375.00 ft

Appendix I: HY-8 Culvert Analysis Existing Conditions

Existing Culvert Conditions

HY-8 Culvert Analysis Report

Crossing Discharge Data

Discharge Selection Method: Specify Minimum, Design, and Maximum Flow

Minimum Flow: 146.42 cfs

Design Flow: 296.27 cfs

Maximum Flow: 300 cfs

Table 1 - Summary of Culvert Flows at Crossing: Kaiaulu O Kapiolani

Headwater Elevation (ft)	Total Discharge (cfs)	Culverts Discharge (cfs)	Roadway Discharge (cfs)	Iterations
94.80	146.42	146.42	0.00	1
95.20	161.78	161.78	0.00	1
95.64	177.14	177.14	0.00	1
96.14	192.49	192.49	0.00	1
96.68	207.85	207.85	0.00	1
97.27	223.21	223.21	0.00	1
97.52	238.57	229.45	9.00	8
97.64	253.93	232.39	21.42	6
97.74	269.28	234.79	34.31	5
97.89	296.27	238.38	57.75	5
97.91	300.00	238.83	61.07	4
97.36	225.53	225.53	0.00	Overtopping

Rating Curve Plot for Crossing: Kaiaulu O Kapiolani

Total Rating Curve

Crossing: Kaiaulu O Kapiolani

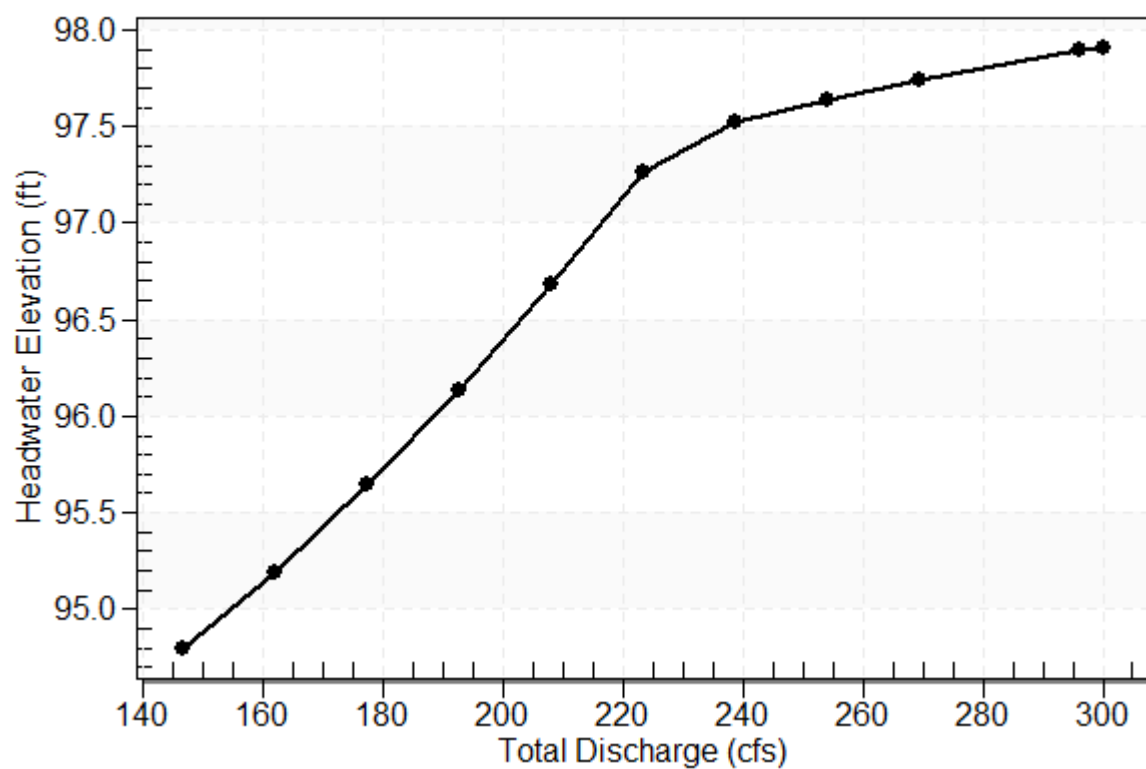
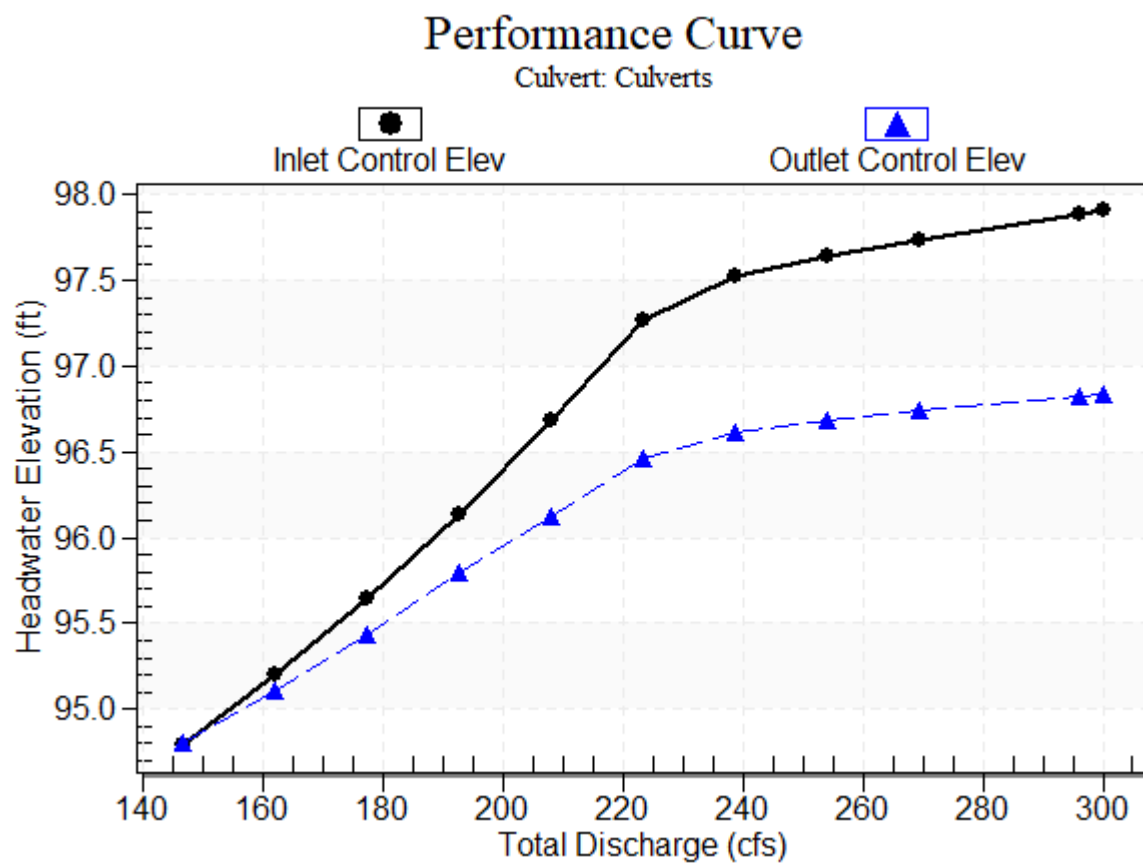


Table 2 - Culvert Summary Table: Culverts

Total Discharge (cfs)	Culvert Discharge (cfs)	Headwater Elevation (ft)	Inlet Control Depth (ft)	Outlet Control Depth (ft)	Flow Type	Normal Depth (ft)	Critical Depth (ft)	Outlet Depth (ft)	Tailwater Depth (ft)	Outlet Velocity (ft/s)	Tailwater Velocity (ft/s)
146.42	146.42	94.80	3.910	3.922	7-H2c	-1.000	2.274	2.274	1.624	8.489	4.479
161.78	161.78	95.20	4.315	4.231	7-JH2c	-1.000	2.385	2.385	1.709	8.950	4.606
177.14	177.14	95.64	4.764	4.559	7-JH2t	-1.000	2.484	2.484	1.790	9.436	4.724
192.49	192.49	96.14	5.258	4.914	7-H2t	-1.000	2.572	2.572	1.866	9.950	4.834
207.85	207.85	96.68	5.800	5.240	7-H2t	-1.000	2.648	2.648	1.940	10.495	4.938
223.21	223.21	97.27	6.387	5.583	7-H2t	-1.000	2.712	2.712	2.010	11.071	5.035
238.57	229.45	97.52	6.639	5.729	7-H2t	-1.000	2.735	2.735	2.078	11.314	5.128
253.93	232.39	97.64	6.760	5.799	7-H2t	-1.000	2.745	2.745	2.143	11.429	5.216
269.28	234.79	97.74	6.861	5.858	7-H2t	-1.000	2.753	2.753	2.206	11.524	5.300
296.27	238.38	97.89	7.012	5.946	7-H2t	-1.000	2.765	2.765	2.312	11.666	5.439
300.00	238.83	97.91	7.031	5.957	7-H2t	-1.000	2.766	2.766	2.326	11.684	5.457

Straight Culvert
Inlet Elevation (invert): 90.88 ft, Outlet Elevation (invert): 90.88 ft
Culvert Length: 20.00 ft, Culvert Slope: 0.0000

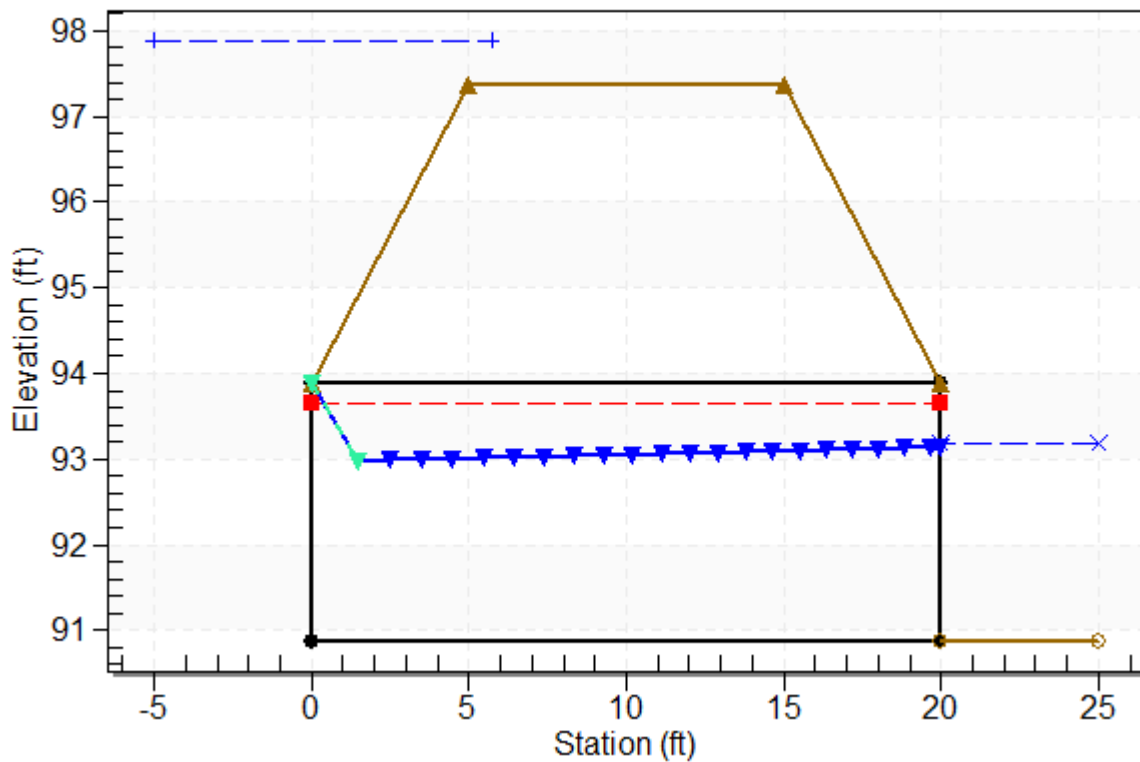
Culvert Performance Curve Plot: Culverts



Water Surface Profile Plot for Culvert: Culverts

Crossing - Kaiaulu O Kapiolani, Design Discharge - 296.3 cfs

Culvert - Culverts, Culvert Discharge - 238.4 cfs



Site Data - Culverts

Site Data Option: Culvert Invert Data

Inlet Station: 0.00 ft

Inlet Elevation: 90.88 ft

Outlet Station: 20.00 ft

Outlet Elevation: 90.88 ft

Number of Barrels: 3

Culvert Data Summary - Culverts

Barrel Shape: Circular

Barrel Diameter: 3.00 ft

Barrel Material: Concrete

Embedment: 0.00 in

Barrel Manning's n: 0.0130

Culvert Type: Straight

Inlet Configuration: Square Edge with Headwall

Inlet Depression: None

Table 3 - Downstream Channel Rating Curve (Crossing: Kaiaulu O Kapiolani)

Flow (cfs)	Water Surface Elev (ft)	Depth (ft)	Velocity (ft/s)	Shear (psf)	Froude Number
146.42	92.50	1.62	4.48	0.94	0.73
161.78	92.59	1.71	4.61	0.99	0.74
177.14	92.67	1.79	4.72	1.04	0.74
192.49	92.75	1.87	4.83	1.08	0.75
207.85	92.82	1.94	4.94	1.13	0.75
223.21	92.89	2.01	5.04	1.17	0.76
238.57	92.96	2.08	5.13	1.21	0.76
253.93	93.02	2.14	5.22	1.24	0.76
269.28	93.09	2.21	5.30	1.28	0.76
296.27	93.19	2.31	5.44	1.34	0.77
300.00	93.21	2.33	5.46	1.35	0.77

Tailwater Channel Data - Kaiaulu O Kapiolani

Tailwater Channel Option: Trapezoidal Channel

Bottom Width: 12.00 ft

Side Slope (H:V): 5.00 (1:1)

Channel Slope: 0.0093

Channel Manning's n: 0.0350

Channel Invert Elevation: 90.88 ft

Roadway Data for Crossing: Kaiaulu O Kapiolani

Roadway Profile Shape: Constant Roadway Elevation

Crest Length: 55.00 ft

Crest Elevation: 97.36 ft

Roadway Surface: Gravel

Roadway Top Width: 10.00 ft



2610 Pacific Heights Road • Honolulu, Hawaii 96813 • (808) 829-1426

Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit K

Approved solid waste management plan

Mitchell D. Roth
Mayor

Lee E. Lord
Managing Director



Ramzi I. Mansour
Director

Brenda D. Iokepa-Moses
Deputy Director

County of Hawai'i
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

345 Kekūanāʻōa Street, Suite 41 · Hilo, Hawai'i 96720

Ph: (808) 961-8083 · Fax: (808) 961-8086

Email: cohdem@hawaiiicounty.gov

July 27, 2022

David T. Imata, P.E.
Imata & Associates, Inc.
171 Kapiolani Street
Hilo, HI 96720

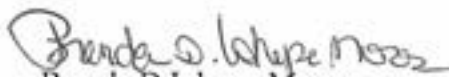
**SUBJECT: Solid Waste Demolition Diversion Plan for
Kaiaulu O Kapiolani A0705 Hilo LP Residence Building
TMK: 3rd Div 2-4-025: 048; 053; 080**

Dear Mr. Imata:

The Department of Environmental Management Solid Waste Division reviewed the Solid Waste Demolition Plan you submitted on September 13, 2021. On February 1, 2022 the plan was accepted and email acknowledgement was sent to Jonathan Oba.

This letter reinforcing that acceptance and should you have any questions, feel free to contact Gene Quiamas, Acting Deputy Chief at (808) 961-8058.

Sincerely,


Brenda D Iokepa-Moses
DEPUTY DIRECTOR

cc: Gene Quiamas



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Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit L

SHPD letter for the project



STATE OF HAWAII
DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE HISTORIC PRESERVATION DIVISION
KAKUHIHEWA BUILDING
601 KAMOKILA BLVD., STE 555
KAPOLEI, HI 96707

December 5, 2022

Steven Pause, Director
County of Hawaii
Department of Public Works
101 Pauahi Street, Suite 7
Hilo, HI 96720
c/o dpweng@hawaiiicounty.gov

IN REPLY REFER TO:
Project No.: 2022PR01469
Doc. No.: 2212SN02
Archaeology

Dear Mr. Pause:

SUBJECT: **Chapter 6E-42 Historic Preservation Review –
County of Hawaii Grading Permit (PW.ENG2022-00238)
Kaiāulu O Kapi‘olani Housing Project
Kūkūau 1st Ahupua‘a, South Hilo District, Island of Hawai‘i
TMK: (3) 2-4-025:048**

This letter provides the State Historic Preservation Division’s (SHPD’s) review of a County of Hawaii grading permit for the Kaiāulu O Kapi‘olani Housing Project. The applicant, A0705 Hilo (landowner), proposes grading activities to facilitate the construction of the proposed affordable housing complex. SHPD received the current submission on November 21, 2022. The submittal included a SHPD HRS 6E Submittal Form, a County of Hawaii grading permit snapshot (PW.ENG2022-00238), and construction plans.

Project Description

The project involves the development of an affordable rental complex of 64 units, a community center, and a 117-stall parking lot. The project area comprises the entirety of the 5.0479-acre property [MK: (3) 2-4-025:048]. The entire project area will be subject clearing and grubbing and mass grading will consist of the removal of unusable volcanic ash and the installation of the fill material. Ground disturbance for the project will also include trenching for utilities and the installation of drainage drywells at select locations.

Findings

A review of SHPD records indicates that the current project area was included in an archaeological inventory survey (AIS; Nelson et al. 2006) for a previous waterline project. The previous AIS was reviewed and accepted in a letter dated September 28, 2006 (Log No. 2006.3275, Doc. No. 0609JT83). The AIS identified a single historic property, a historic era enclosure (SIHP 50-10-35-25547) located within the current project area. The site was adequately documented in the AIS, and no further work was recommended. SHPD also reviewed and approved an archaeological assessment report (AIS with negative findings; Rechtman 2006) for an adjacent project area on Parcel 080, related to the current project development.

Determination

Based on current information, SHPD’s determination is **no historic properties affected** for the current project. Pursuant to HAR §13-284-7(e), when the SHPD agrees that the action will not affect any significant historic properties, this is the SHPD’s written concurrence and historic preservation review ends. The historic preservation review process is ended. The permit issuance process may proceed.

Steven Pause
12/5/2022
Page 2

Attach to permit: In the unlikely event that subsurface historic resources, including human skeletal remains, structural remains, cultural deposits, sand deposits, or sink holes are identified during the grading work, cease work in the immediate vicinity of the find, protect the find from additional disturbance, and contact the State Historic Preservation Division at (808) 933-7651.

Please contact Sean Nāleimaile, Hawaii Island Archaeologist IV, at Sean.P.Naleimaile@hawaii.gov for any matters regarding archaeological resources or this letter.

Aloha, *Alan Downer*

Alan S. Downer, PhD
Administrator, State Historic Preservation Division
Deputy State Historic Preservation Officer

cc. Melanie DeMello, melanie.demello@hawaiicounty.gov
Grant Bigley, gbigley@uhcllc.net
Jonathan Oba, jon@imata.biz
Zachary Hoffman, zachary.hoffman@designpartnersinc.com



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Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit M

Fair share exemption letter



2610 Pacific Heights Road • Honolulu, Hawaii 96813 • (808) 829-1426
Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

August 17, 2022

Susan K. Kunz
Housing Administrator
County of Hawaii, Office of Housing and Community Development (OHCD)
1990 Kinoole Street, Suite 102
Hilo, Hawaii 96720
Ph: (808) 961-8379

Jeffrey W. Darrow
Deputy Planning Director
County of Hawaii, Planning Department
101 Pauahi Street, Suite 3
Hilo, HI 96720
808-961-8158

Re: A0705 Hilo L.P. (Kaiāulu O (Kapi'olani)
Ordinance No. 21-17
Condition M: Fair Share Exemption

Aloha Susan & Jeff,

In accordance with Ordinance No.21-17, the partnership A0705 Hilo L.P. will be accepting the fair share exemption, at this time, relating to Condition M of the zoning ordinance and not the excess housing credits for the project, which is part of the Affordable Housing Agreement. We understand that if we request and receive excess credit pursuant to Chapter 11, at any time, we will owe the fair share payment, accordingly.

Please accept this letter as our written request to accept the fair share exemption.

Kind regards,

Grant Bigley
Project Manager

Cc: Douglas Bigley
Miguel Saenz
Thomas Fischer
Bruce Holden



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Corporate: 2000 E Fourth Street, Suite 220 • Santa Ana, CA 92705 • (714) 835-3955

Exhibit N

Affordable housing agreement with the Office of Housing (OHCD)

LAND COURT

REGULAR SYSTEM

(AREA ABOVE RESERVED FOR RECORDING INFORMATION)

After Recordation, Return by ☒ Mail or ☐ Pick-up To:

A0705 Hilo, L.P.
2000 E. Fourth Street, Suite #220
Santa Ana, CA 92705

TITLE OF DOCUMENT:

AFFORDABLE HOUSING AGREEMENT

PARTIES TO DOCUMENT

DEVELOPER: A0705 Hilo, L.P. a Hawai'i limited partnership, whose principal place of business and mailing address is 2000 E. Fourth Street, Suite #220, Santa Ana, CA 92705

COUNTY: COUNTY OF HAWAII, a municipal corporation of the State of Hawai'i, whose principal place of business and mailing address is 25 Aupuni Street, Hilo, HI 96720

Affects TMKs (3) 2-4-025:048, 053, and 080

contains _____ pages.

AFFORDABLE HOUSING AGREEMENT

This Affordable Housing Agreement (“Agreement”) is made and effective this _____ day of _____, 2022 (the “Effective Date”) by and between **A0705 Hilo, L.P.**, a Hawai‘i limited partnership, hereinafter referred to as “Developer,” whose principal place of business and mailing address is 2000 E. Fourth Street, Suite #220, Santa Ana, CA 92705, and the **COUNTY OF HAWAI‘I**, a municipal corporation of the State of Hawai‘i, hereinafter referred to as “County”, whose principal place of business and mailing address is 25 Aupuni Street, Hilo, Hawai‘i 96720.

WHEREAS Ordinance 10-32 amended Section 25-8-33, Article 8, Chapter 25 (Zoning Code) of the Hawai‘i County Code 1983 (2005 Edition), by changing the District Classification from Single-Family Residential (RS-7.5) and Multiple-Family Residential (RM-1) to Multiple-Family Residential (RM-1.5) at Kūkūau 1st, South Hilo, Hawai‘i, covered by Tax Map Key (3) 2-4-025:048, 053, and 080; and

WHEREAS, Ordinance 21-17, amended Ordinance 10-32, and reclassified lands by changing the District Classification for Single-Family Residential (RS-7.5) and Multiple-Family Residential (RM-1) to Multiple-Family Residential (RM-1.5) at Kūkūau 1st, and provides further updates and edits to the property sites; and

WHEREAS the Developer proposes to develop “Kaiaulu O Kapiolani,” consisting of 5.05-acres of real property located at TMK: (3) 2-4-025:048, 053, 080 into 64 multi-family apartment units (including one (1) manager unit), fifty percent of which are three- and four-bedroom units that will serve large families (“the Project”), more specifically described in Exhibit “A”; and

WHEREAS the project will consist of 8 buildings with twenty-eight 2-bedroom units, twenty-nine 3-bedroom units which includes an onsite Manager’s unit, and seven 4-bedroom units, accompanied with a community center, laundry facilities, a children’s playground, driveways, landscaping, parking areas and walkways. All the housing units will provide rents affordable for low-income families (7 units

at 30% AMI, 7 units at 40% AMI, 13 units at 50% AMI, and 36 units at 60% AMI and one manager's unit) coupled with a range of social services (e.g., health services, after-school programs, and job training); and

WHEREAS the County and the Developer recognize the need for affordable housing in the County of Hawai'i, and the parties hereto have evaluated the various options available to satisfy the affordable housing goals and policies of the State of Hawai'i and the County; and

WHEREAS, Chapter 11, Article 1 of the Hawai'i County Code ("HCC"), relating to Affordable Housing Policy, authorizes the Mayor, the County of Hawai'i Office of Housing and Community Development ("OHCD") or their duly authorized representative, to enter into this Agreement with the Developer to perform one or any combination of the options for satisfaction of the affordable housing requirements contained in HCC Section 11-5; and

WHEREAS, in 2019, the Developer was awarded by the Hawai'i Housing Finance and Development Corporation ("HHFDC") Federal and State Low Income Housing Tax Credit Program subsidies, financing to be provided by the State of Hawai'i Hula Mae Multi-Family (HMMF) Tax-exempt Bonds, and "Equity Gap" low-interest Rental Housing Revolving Fund (RHRF) funds; and

WHEREAS the Developer desires to construct at least 63 affordable housing rental units restricted to families earning no more than 60 percent of median income according to the terms of the Low-Income Housing Tax Credit program pursuant to Section 42 of the Internal Revenue Code ("LIHTC") and one (1) non-restricted manager's unit; and

NOW, THEREFORE, in consideration of the mutual covenants in this Agreement, and pursuant to Chapter 11, Article 1 (Affordable Housing) of the Hawai'i County Code ("Chapter 11"), the parties hereby agree as follows:

1. Within five (5) years of the effective date of this Agreement, the Developer shall diligently pursue completion of the affordable housing development and occupy no fewer than 63 affordable housing rental units on the Property, plus one manager's unit. The rental of the affordable housing rental units shall be made to renters who qualify under the applicable LIHTC and County of Hawai'i affordable housing eligibility requirements and income qualifications earning no more than sixty (60) percent of the area median income at the time of initial tenant and household qualification.
2. The affordable housing rental units shall be rented to "qualified households." as defined in the Hawai'i County Code, Chapter 11, earning no more than 30%-60% of the U.S. Department of Housing and Urban Development ("HUD") adjusted mean income (including adjustments for family size) at an affordable rental as determined in accordance with the Affordable Housing Guidelines for the County of Hawai'i (the "Guidelines", Exhibit B) as updated and published annually by the OHCD.
3. These affordable housing rental units shall remain affordable for no fewer than twenty (20) years after initial occupancy.
4. The Developer hereby represents and warrants to OHCD that not less than sixty-three (63) of the proposed sixty-four (64) rental units will be rented as affordable housing units (each, an "Affordable Housing Unit").
5. The rental of all Affordable Housing Units shall be made available to renters who qualify under the County of Hawai'i income qualifications and the following eligibility requirements pursuant to HCC Chapter 11:
 - a. Applicants are required to be citizens of the United States or permanent resident aliens; and

- b. Applicants shall intend to occupy the Affordable Housing Unit as their permanent and primary residence.
6. At least two hundred ten (210) days prior to the commencement of the rental of the Affordable Housing Units within the Development, the Developer shall submit for written approval by the OHCD the rental and marketing plan for the Development (the "Plan"). As part of the Plan, the rental amount and Developer-furnished utilities and other amenities for each Affordable Housing Unit, if applicable, shall be subject to approval by the OHCD. Within thirty (30) days after the Developer's submittal of the Plan, the OHCD shall act to approve or disapprove the Plan. If the OHCD fails to act on the Plan within the thirty (30) day period, the Plan shall be deemed approved, and the Developer may commence marketing and rental pursuant to the provisions of the Plan.
7. Upon rental of a unit, the Developer shall provide OHCD documentation sufficient in the detail as necessary to substantiate Developer's compliance with the HCC Chapter 11, the Guidelines and the relevant covenants and restrictions set forth in this Agreement.
8. Upon the final completion of the Development, the Developer shall submit certified annual reports to the OHCD on or before June 30 for 20 years regarding the Developer's compliance with the terms of this Agreement, to include without limitation, marketing and rental reports and documents sufficient to allow the OHCD to ensure compliance with the terms of this Agreement. The OHCD shall monitor and approve the Developer's compliance with the terms of this Agreement. Further, the Developer shall promptly provide to OHCD any other information, documents or certifications requested by the OHCD that the OHCD shall deem reasonably necessary to substantiate the Developer's continuing compliance with the provisions, covenants and restrictions specified in this Agreement.
9. The award of excess credits shall be subject to approval by the Housing Administrator pursuant to HCC Section 11-15. The project was awarded State of Hawai'i Hula Mae Multi-Family (HMMF) tax-exempt Bond funds, "Equity Gap" low-interest loans from the Rental Housing Revolving Fund (RHRF) by HHFDC (Exhibit C), and Project-Based Housing Choice Vouchers,

and may be allowed to be transferred in accordance with HCC Chapter 11, Section 11-15(d) with the Housing Administrator's approval.

10. This Agreement shall run with the land and be binding and inure the benefits of the parties hereto, and their respective successors and assigns. This Agreement shall be recorded by the Developer at the Bureau of Conveyances, or with the Land Court of the State of Hawai'i as applicable, concurrently with the recordation of the mortgage for the financing of the Project and the Developer has become the legal owner of the Property. The parties agree to take such actions and execute whatever other documents as are necessary to effectuate and carry out the intent of this Agreement. This Agreement modifies and supersedes any other agreements and understandings (whether oral or written) made heretofore or contemporaneously herewith by the parties. The provisions of this Agreement may not be altered or changed except by another written instrument executed by the parties hereto.
11. Upon the written request by the Developer and OHCD's determination of compliance of all of the terms of this Agreement, a Cancellation and Release of this Agreement shall be executed by the parties hereto and recorded by the Developer (at the Developer's cost) with the Bureau of Conveyances, or with the Land Court of the State of Hawai'i, as applicable.
12. If the efforts of the Developer to complete the design, development and construction of the affordable rental units are delayed by any of the following (collectively, "Force Majeure"): (a) war, earthquake, fire, flood, volcanic activity or other similar natural disaster, or by general or industry-wide strike in the County, shipping strike in the State of Hawai'i or on the continental United States, or (b) the failure of any Government Agencies to approve or consent to any matter for which such approval or consent is required within a reasonable time after the Developer has made a request therefor despite reasonable efforts on the part of the Developer to obtain such consent or approval, then, and in any such event, the time periods set forth in this Agreement for completion of the affordable housing rental units shall be extended by the number of days that the Developer is delayed as a result of the specified event of Force Majeure.

SECTION 2 – PROJECT DEVELOPMENT AND OPERATION

1. The Developer agrees to comply fully with the requirements of the Fair Housing Act as it may be amended from time to time.
2. The Affordable For-Rent Pricing is based on the GUIDELINES dated 9/3/2021 (Exhibit “C”) which are updated annually by the OHCD per HCC Chapter 11. The Developer agrees that the for-rent, and for-sale prices for the Project may change annually, and all advertisements and contract documents will adjust accordingly.
3. Subject to the requirements of this Agreement, if the Developer plans to sell, transfer, or exchange the Property, the Developer shall notify the OHCD in writing at least thirty (30) days and obtain the agreement of any buyer or successor or other person acquiring any interest in the Property that such acquisition is subject to the requirements of this Agreement and to the requirements of the HCC Chapter 11 and applicable regulations. This provision shall not act to waive any other restriction on sale, transfer or exchange of the Property, or any Affordable Unit in the Project.
4. The Developer shall maintain the common areas of the Project in good, safe, and habitable conditions in all respects, except for normal wear and tear, and in full compliance with all applicable laws, regulations, ordinances, covenants, or government authority with jurisdiction over matters concerning the condition and use of the Property.
5. The Developer warrants that Developer has not and will not execute any other agreement with provisions contradictory to, or in opposition to, the provisions hereof, and that in any event, the requirements of this Agreement are paramount and controlling as to the rights and obligations herein set forth and supersede any other requirements in conflict herewith.

6. During the construction of Affordable Units, the Developer agrees to and shall hold harmless, defend and indemnify the County, its directors, employees, representatives, agents, successors, and assigns, from and against any and all claims, demands, causes of action, liabilities, damages, losses, fines, penalties, taxes, costs or expenses, including, without limitation, attorneys' fee; and costs of court, which are incurred and/or paid by the County relating to the Developer's obligations under this Agreement.
7. The Developer covenants that Developer will not knowingly take or permit any action that would result in a violation of the requirements of the HCC Chapter 11 and applicable regulations or this Agreement. Further, the Developer will comply with all applicable County, State and Federal laws, rules, regulations, and requirements.
8. In accordance with Executive Order 142 issued on February 11, 2005, by the Mayor of the County, during the performance of this Agreement, Developer hereby agrees as follows:
 - a. Developer shall comply with all requirements set forth in Federal and State laws and regulations relative to Title VI of the Civil Rights Act of 1964, as amended, which provide for non-discrimination in Federally assisted programs.
 - b. Developer shall not discriminate against any employee or applicant for employment because of race, ancestry/national origin, religion, color, disability, age, marital status, military status, veteran's status, sexual orientation, lactation, arrest and court record, citizenship, or any other classification protected by state or federal law. The contractor shall assure that applicants are employed and that employees are treated during employment without regard to race, ancestry/national origin, religion, color, disability, age, marital status, military status, veteran's status, sexual orientation, lactation, arrest and court record, citizenship, or any other classification protected by state or federal law. Such action shall include, but not be limited to, the

following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training. The contractor agrees to post in conspicuous places notices to be provided by the contracting officer setting forth the provisions of the nondiscrimination clause.

- c. Developer shall in all solicitations or advertisements for employees placed by or on behalf of Developer, state that all qualified applicants shall receive consideration for employment without regard to race, ancestry/national origin, religion, color, disability, age, marital status, military status, veteran's status, sexual orientation, lactation, arrest and court record, citizenship, or any other classification protected by state or federal law.
- d. In the event of Developer's noncompliance with the nondiscrimination clauses of this contract, this contract may be canceled or suspended in whole or in part and the contractor may be declared ineligible for further County of Hawai'i contracts until such time that the contractor by satisfactory evidence, in good faith, ceases such discriminatory practices or procedures.
- e. Developer who subcontracts any portion of the contract shall assure the County that such subcontractor shall abide by the nondiscrimination provisions stated herein and agrees that any subcontractor who is found in violation of such provisions shall subject the principal contractor's contract with the County to be terminated or suspended pursuant to subsection (d) above.
- f. Developer may direct any bidder, prospective contractor, or subcontractor to submit a statement in writing signed by an authorized officer, agent, or employee of the contracting party that the signer's practices and policies do not discriminate on the grounds of race, ancestry/national origin, religion, color,

disability, age, marital status, military status, veteran's status, sexual orientation, lactation, arrest and court record, citizenship, or any other classification protected by state or federal law, and that the terms and conditions of employment under the proposed contract shall be in accordance with the purposes and provisions stated herein.

9. Severability. The invalidity of any clause, part or provision of this Agreement shall not affect the validity of the remaining portions thereof.
10. Notices. All notices to be given pursuant to this Agreement shall be in writing and shall be deemed given when mailed by certified or registered mail, return receipt requested, to the parties hereto at the addresses set forth below, or to such other place as a party may from time to time designate in writing.

To the County:

Office of Housing and Community Development
1990 Kino'ole Street, Suite 102
Hilo, Hawai'i 96720
ATTN: Housing Administrator

To the Developer:

A0705 Hilo, L.P.
2000 E. Fourth Street, Suite #220
Santa Ana, CA 92705
ATTN: Grant Bigley

With a copy to:

Gordon Rees Scully Mansukhani
Attn: Bruce Holden
5 Park Plaza
Suite 1100
Irvine, CA 92614

The OHCD and the Developer may, by notice given hereunder, designate any further or different addresses to which subsequent notices, certificates or other communications shall be sent.

11. This instrument may be executed in two or more counterparts, and when all counterparts have been executed, each counterpart shall be considered an original but when assembled shall constitute one and the same instrument and shall have the same force and effect as though all of the signatories had executed a single signature page. Any unexecuted duplicate pages may be omitted from the assembled original document.
12. The parties agree that no party shall be deemed to be the drafter of this Agreement, and further that in the event this Agreement is ever construed by a court of law, such court shall not construe this Agreement or any provisions of this Agreement against any party as the drafter of this Agreement.
13. This Agreement shall be governed and construed in accordance with the laws of the Third Circuit Court of the State of Hawai'i.

**THE REMAINDER OF THIS PAGE IS INTENTIONALL LEFT BLANK
SIGNATURE PAGE FOLLOWS**

#

#

IN WITNESS WHEREOF, the parties hereto have executed this AGREEMENT as of the day and year of the last signature below.

DEVELOPER:

A0705 Hilo, L.P., a Hawai'i limited partnership

NP Holdings, LLC
a Hawai'i limited liability company
General Partner

By: David H. Bigley

Name: DAVID H. BIGLEY

Title: MANAGER

Date: 6/7/2022

RECOMMEND APPROVAL:

Susan K. Kunz
Housing Administrator

Date: _____

**APPROVED AS TO FORM
AND LEGALITY:**

Deputy Corporation Counsel

COUNTY:

COUNTY OF HAWAII,
a municipal corporation of the State of Hawai'i

By: _____

Name: _____

Title: _____

Date: _____

Date: _____

On _____, before me appeared _____ to
me personally known, who, being by me duly sworn, did say that _____
is the _____ of A0705 HILO, L.P. a Hawai'i limited partnership; that the
instrument was signed in behalf of the company by authority of its Board of Directors and
_____ acknowledged said instrument to be the free act and deed of
said company.

My ~~commission~~ expires: _____

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ACKNOWLEDGMENT

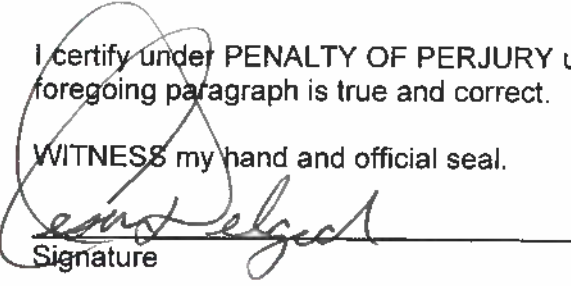
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

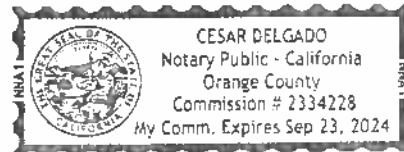
State of California
County of ORANGE ss.

On June 7, 2022 before me, Cesar Delgado, Notary Public, personally appeared David H. Bigley, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Signature



(seal)

**INSERT MAYOR'S
NOTARY PAGE**

Exhibit A. Map of parcel (3) 2-4-025:048, 053,080



Exhibit B. HHFDC 2019 Awards List

As of December 31, 2019

	Project	Applicant	App. Round	Target Population	Afford. Period	Total Units (a)	Affd. Units (b)	LHFC					HHMF	RHRF
								Volume Cap		Non-Volume Cap				
								Federal: (10-yr)	State (5-yr)	Federal (10-yr)	State (5-yr)	Sum (\$-yr)		
1	902 Alder St. Afford. aka Hale Kala'e 902 Alder St #37 Piapa St Honolulu HI 96814	MX Alana Street Partners, LLC 1308 Ala Moana Blvd. Ste 201 Honolulu HI 96814	2/15/2019	Family	73	201	100	\$0	\$0	\$3,620,779	\$3,620,779	\$49,574,388	\$24,000,000	
2	Halekua View II 99-009 Kalaboa St Aiea HI 96701	Halekua View II, L.P. 1820 W. Kaimanui Ln. Ste D Lodi, CA 95342 Contact: Mr. Joe Michael	2/15/2019	Family	56	156	155	\$0	\$0	\$2,664,038	\$2,664,038	\$40,200,000	\$21,300,000	
3	Halekua View III 99-009 Kalaboa St Aiea HI 96701	Halekua View III, L.P. 1820 W. Kaimanui Ln. Ste D Lodi, CA 95342 Contact: Mr. Joe Michael	2/15/2019	Family	56	146	145	\$0	\$0	\$2,590,963	\$2,590,963	\$40,000,000	\$21,000,000	
4	Hale Mahina O Moiliili 2139 Aligades St. Honolulu, HI 96815	Hale Mahina O Moiliili, L.P. 1188 Bishop St. Ste. 907 Honolulu, HI 96813	2/15/2019	Elderly	56	105	104	\$0	\$0	\$999,234	\$999,234	\$22,000,000	\$13,600,000	
5	Hale Ulualei Naka - Phase II 81-1039 Shangha St Kapolei HI 98107	Cloudbreak Hawaii II LLC 419 S. Maunaloa Ave Pasadena, CA 91101 Contact: Mr. Randall Bishop	2/15/2018	Family	40	50	50	\$0	\$0	\$0	\$0	\$0	\$3,378,100	
6	Halekua View Residences 1331-1347 River St Honolulu, HI 96817	Halekua View Senior Development, LLC 737 Bishop St. Ste. 1520 Honolulu, HI 96813 Contact: Ms. Karen Seidan	2/15/2018	Elderly	60	156	155	\$0	\$0	\$2,940,452	\$2,940,452	\$43,550,000	\$41,111,270	
7	Kuhala Lani II Kane & Vevau Streets Kauai HI 96732	Kuhala Lani II LP 1288 Ala Moana Blvd. #35A Honolulu, HI 96814 Contact: Mr. Gary Funao	2/15/2019	Elderly	61	83	83	\$1,431,411	\$1,431,411	\$0	\$0	\$0	\$14,250,000	
8	Kapolei O Kupolei Kapolei & Kukui Streets Hon HI 96720	Kapolei O Kupolei, L.P. 2000 E Fourth St., Ste 220 Santa Ana CA 92705	2/15/2019	Family	65	64	63	\$0	\$0	\$1,307,553	\$1,307,553	\$17,932,960	\$12,800,000	
9	Kapolei O Kupolei 167 Kupuhi St. Lahaina HI 96761	Kapolei O Kupolei, L.P. 2000 E Fourth St. Ste 220 Santa Ana CA 92705	2/15/2019	Family	65	89	88	\$0	\$0	\$1,900,936	\$1,900,936	\$27,346,140	\$17,132,500	
10	Kapolei Heights Affordable Housing (B) Kukui Street Kukui-Kane HI 96740	Kapolei Heights Afford Hsg Project, LLC 100 Puana Street, Ste. 200 Hon HI 96720 Contact: Kelly Kato	N/A	Family	60	81	80	\$0	\$0	\$26,960	\$26,960	\$3,870,000	\$0	
11	Kapolei Mixed Use Development Ph 2 (c) Hauanea and Aiea Streets Kapolei HI 96707	KWUD II, L.P. 330 W Victoria Street Gardena, CA 90248 Contact: Mr. Mohammad Mohanna	N/A	Family	61	143	142	\$0	\$0	\$345,908	\$345,908	\$12,876,000	\$0	

Exhibit C. Affordable Housing Guidelines

Exhibit C: County of
Hawaii, Affordable
Housing Guidelines

AFFORDABLE HOUSING GUIDELINES FOR THE COUNTY OF HAWAII

FOR-SALE UNITS GUIDELINES (Effective 08/26/2020)

This information is based on 2020 median income provided by HHFDC, based on the rates established by the U.S. Department of Housing and Urban Development (HUD) for various family sizes. Adjustments to the very low- (50%) and low-income (80%) limits are made by HUD for areas with unusually high or low family income or housing costs. Most income limits are proportionately based on very low-income limits. Thus, the four-person (80%) income limit is 120% (80/50%) of the four-person very low-income limit.

The figures consider (1) a 30-year conventional fixed mortgage; (2) a fixed interest rate of 4%; (3) a down payment equal to 5% of the sales price; (4) housing expenses equal to 28% of gross annual income. *The interest rate used is the annual average interest rate for a 30-year conventional fixed mortgage, for the twelve months ending in the previous year rounded to the nearest half percent, as published by the Federal Home Loan Mortgage Corp (http://www.freddiemac.com/prime/docs/30yr_prime.html).

% of Median	2 CREDITS				1.5 CREDITS				1 CREDIT				.75 CREDIT			
	50%	60%	70%	80%	90%	100%	110%	120%	130%	140%						
Sales Price: Studio:	\$150,200.00	\$180,300.00	\$210,300.00	\$240,400.00	\$270,400.00	\$300,400.00	\$330,500.00	\$360,500.00	\$390,600.00	\$420,600.00						
1 person max family income:	\$ 29,200	\$ 35,040	\$ 40,880	\$ 46,720	\$ 52,560	\$ 58,400	\$ 64,240	\$ 70,080	\$ 75,920	\$ 81,760						
Sales Price: 1 Bedroom:	\$171,600.00	\$205,900.00	\$240,200.00	\$274,500.00	\$308,800.00	\$343,100.00	\$377,500.00	\$411,800.00	\$446,100.00	\$480,400.00						
2 person max family income:	\$ 33,350	\$ 40,020	\$ 46,680	\$ 53,360	\$ 60,030	\$ 66,700	\$ 73,370	\$ 80,040	\$ 86,710	\$ 93,380						
Sales Price: 2 Bedroom:	\$192,900.00	\$231,500.00	\$270,100.00	\$308,700.00	\$347,300.00	\$385,800.00	\$424,400.00	\$463,000.00	\$501,600.00	\$540,200.00						
3 person max family income:	\$ 37,500	\$ 45,000	\$ 52,500	\$ 60,000	\$ 67,500	\$ 75,000	\$ 82,500	\$ 90,000	\$ 97,500	\$ 105,000						
Sales Price: 3 Bedroom:	\$214,300.00	\$257,100.00	\$300,000.00	\$342,800.00	\$385,700.00	\$428,600.00	\$471,400.00	\$514,300.00	\$557,100.00	\$600,000.00						
4 person max family income:	\$ 41,650	\$ 49,880	\$ 58,310	\$ 66,840	\$ 75,370	\$ 83,900	\$ 92,430	\$ 100,960	\$ 109,490	\$ 118,020						
Sales Price: 4 Bedroom:	\$231,500.00	\$277,600.00	\$324,100.00	\$370,400.00	\$416,700.00	\$463,000.00	\$509,300.00	\$555,600.00	\$601,900.00	\$648,200.00						
5 person max family income:	\$ 45,000	\$ 54,000	\$ 63,000	\$ 72,000	\$ 81,000	\$ 90,000	\$ 99,000	\$ 108,000	\$ 117,000	\$ 126,000						
Sales Price: 5 Bedroom:	\$248,700.00	\$298,500.00	\$348,200.00	\$398,000.00	\$447,700.00	\$497,500.00	\$547,300.00	\$597,000.00	\$646,700.00	\$696,500.00						
6 person max family income:	\$ 48,350	\$ 58,020	\$ 67,680	\$ 77,350	\$ 87,020	\$ 96,700	\$ 106,370	\$ 116,040	\$ 125,710	\$ 135,380						

FOR-SALE FINISHED LOTS GUIDELINES (Effective 08/26/2020)

This information is based on the affordable sales price for a completed unit for a household, earning one hundred percent of the median income in the County of Hawaii, less the cost to build a single-family home of 1,100 square feet. *\$133.25 per square foot cost is based on estimated cost for last calendar year, submitted by the County of Hawaii's Department of Public Works, Building Division. Per Chapter 11 of the Hawaii County Code §11-5(c)(9)(10)

% of Median Income	Affordable Home Price	Cost/Unit	Affordable Lot Price	Credit
80%	\$ 342,800	\$ 146,575	\$ 196,225	1
100%	\$ 428,600	\$ 146,575	\$ 282,025	1/2

FOR-RENT GUIDELINES (Effective 08/26/2020)

Affordable rents are based on 30% of gross monthly income, including utilities (water, sanitary sewage service, electricity and/or gas). Please refer to form HUD-52667 (Allowances for Tenant-Furnished Utilities and Other Services) for utilities for other single- and/or multi-family units.

Bedroom Size	Studio	One	Two	Three	Four	Credits
30%	\$ 436	\$ 489	\$ 562	\$ 649	\$ 725	2
50%	\$ 730	\$ 781	\$ 937	\$ 1,083	\$ 1,208	2
60%	\$ 876	\$ 938	\$ 1,125	\$ 1,299	\$ 1,450	1 1/2
80%	\$ 1,168	\$ 1,251	\$ 1,500	\$ 1,733	\$ 1,934	1 1/2
100%	\$ 1,460	\$ 1,563	\$ 1,875	\$ 2,166	\$ 2,417	1
120%	\$ 1,752	\$ 1,876	\$ 2,250	\$ 2,600	\$ 2,901	1/2
140%	\$ 2,044	\$ 2,189	\$ 2,625	\$ 3,032	\$ 3,384	1/2